

PLANNED DEVELOPMENT EVERGLEN 2

A RESIDENTIAL DEVELOPMENT BY PAD INVESTMENT TRUST



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PROJECT DATA

ASSESSOR'S PARCEL NUMBER:	051-230-0050
PROJECT ADDRESS/LOCATION:	241 N CHAPPELL ROAD, HOLLISTER CA 95023
EXISTING GENERAL PLAN DESIGNATION:	LOW DENSITY RESIDENTIAL
EXISTING ZONING DESIGNATION:	R1-L/PZ (LOW DENSITY RESIDENTIAL PERFORMANCE OVERLAY)
PROPOSED USE:	RESIDENTIAL
GROSS SITE AREA:	±0.87 AC
RIGHT-OF-WAY DEDICATION:	±0.00 AC
NET SITE AREA:	±0.87 AC
PROPOSED DENSITY:	7 DU 0.87 AC (NET) 8.05 DU / AC

PROJECT DESCRIPTION

PROPOSED PROJECT INCLUDES THE SUBDIVISION OF 1 EXISTING ROUGHLY .87 ACRE LOT INTO 7 LOTS. 6 OF THE LOTS WILL HAVE NEW SINGLE FAMILY DETACHED HOMES AND THE 1 EXISTING BUILDING ON LOT 7 WILL REMAIN. PROJECT ALSO INCLUDES THE DEMOLITION OF 4 EXISTING BUILDINGS TOTALING 1,130 SF ON PROPOSED LOTS 3 & 4. LOTS 1-4 WILL ALL BE ACCESSED FROM EXISTING PRIVATE STREET SUMMER MORNING DRIVE, LOTS 5, 6, AND 7 WILL BE ACCESSED FROM EXISTING PUBLIC STREET N. CHAPPELL ROAD. NO NEW STREET IMPROVEMENTS ARE PROPOSED.

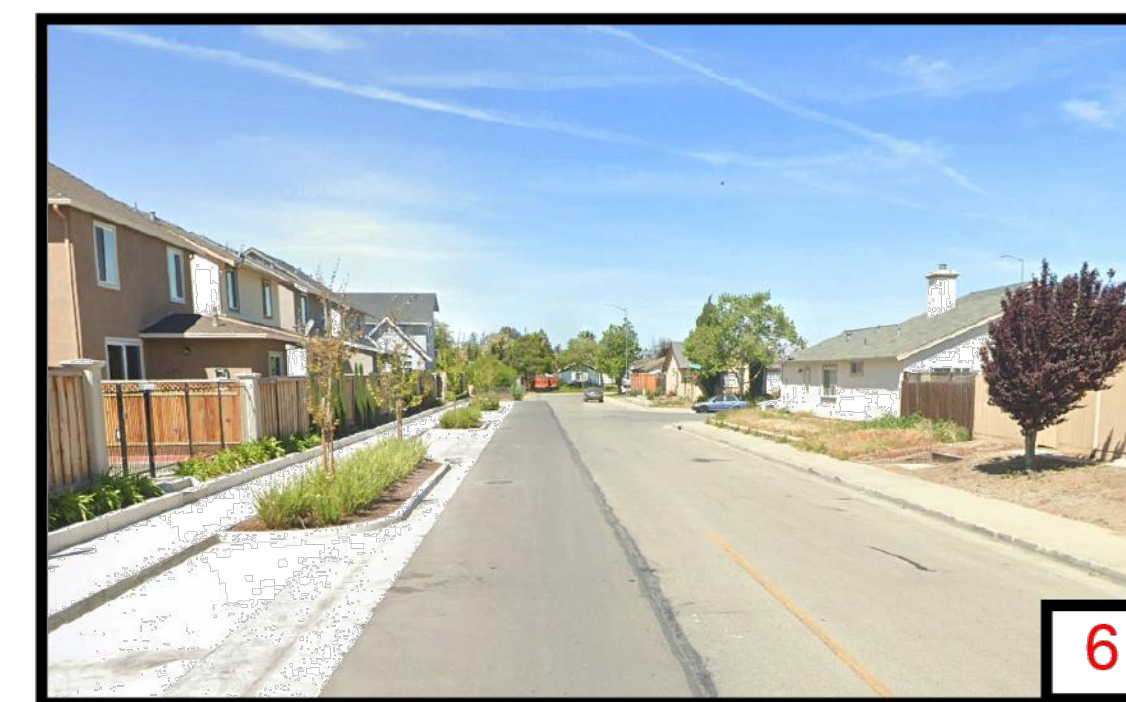
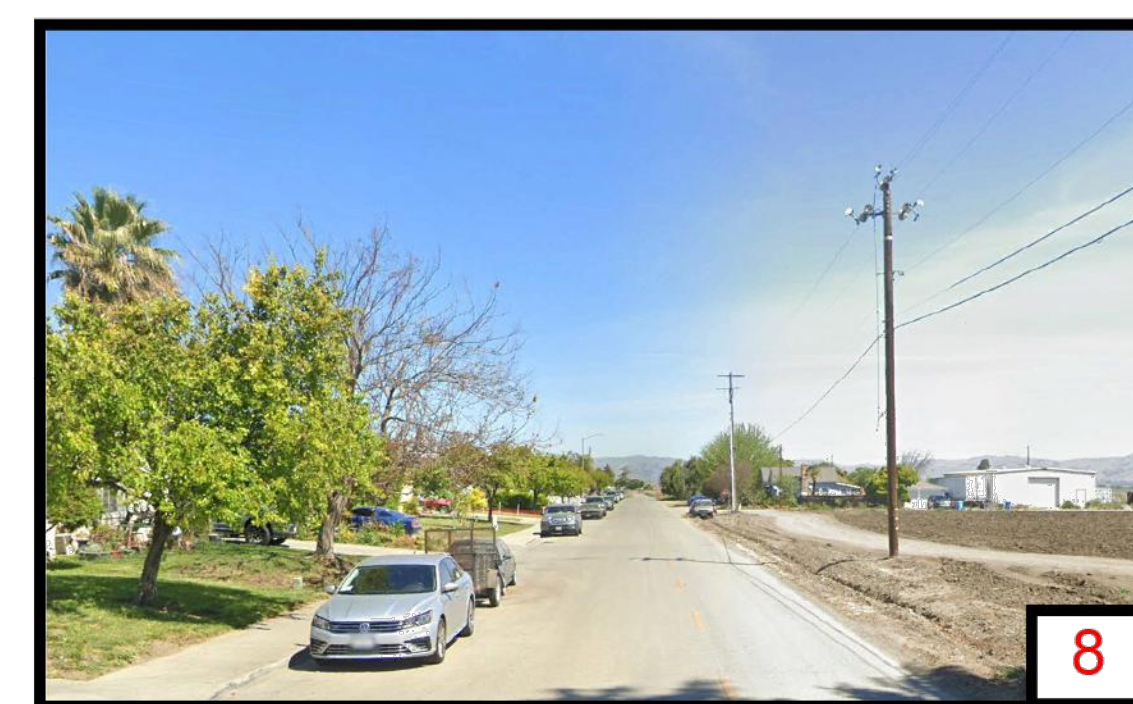
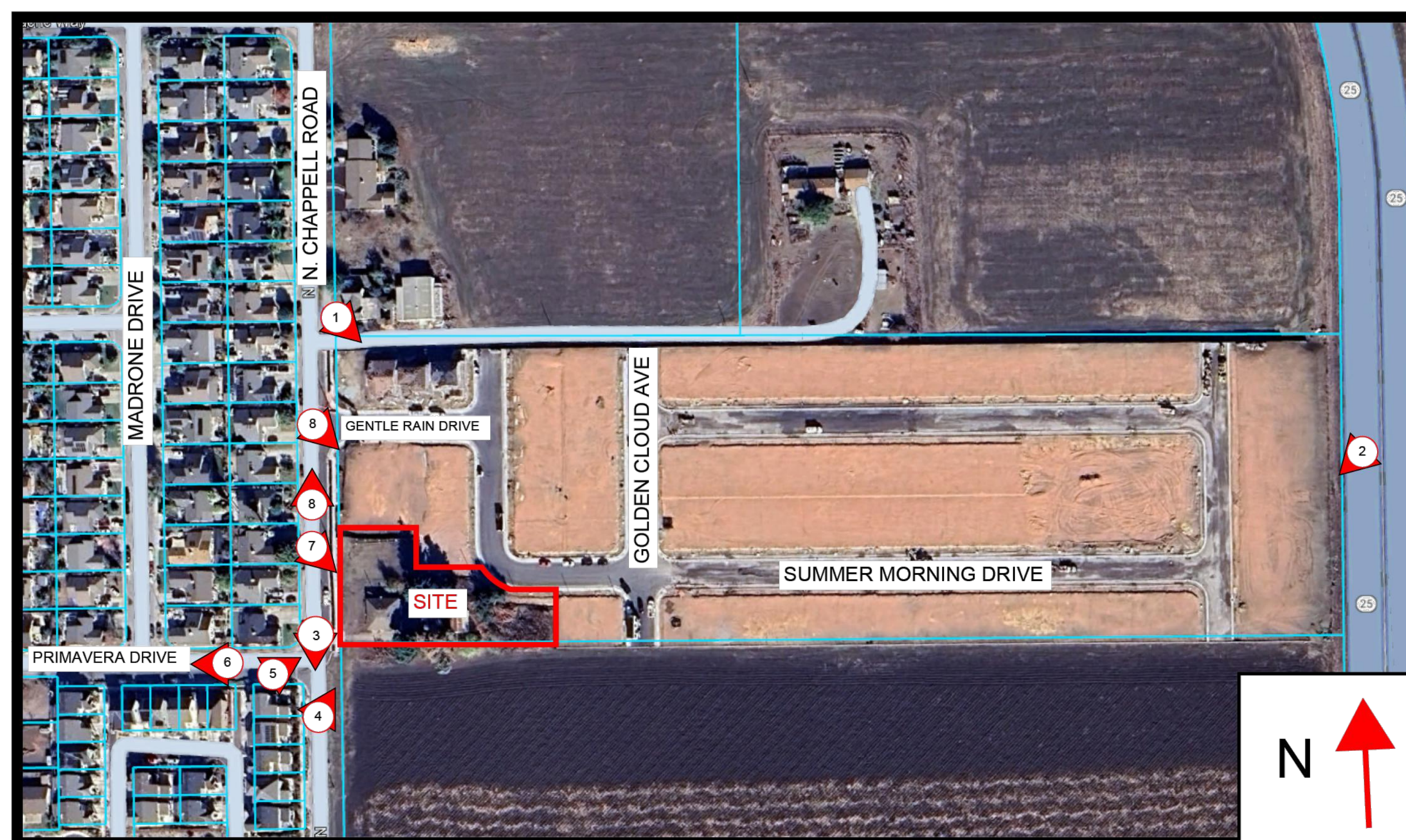
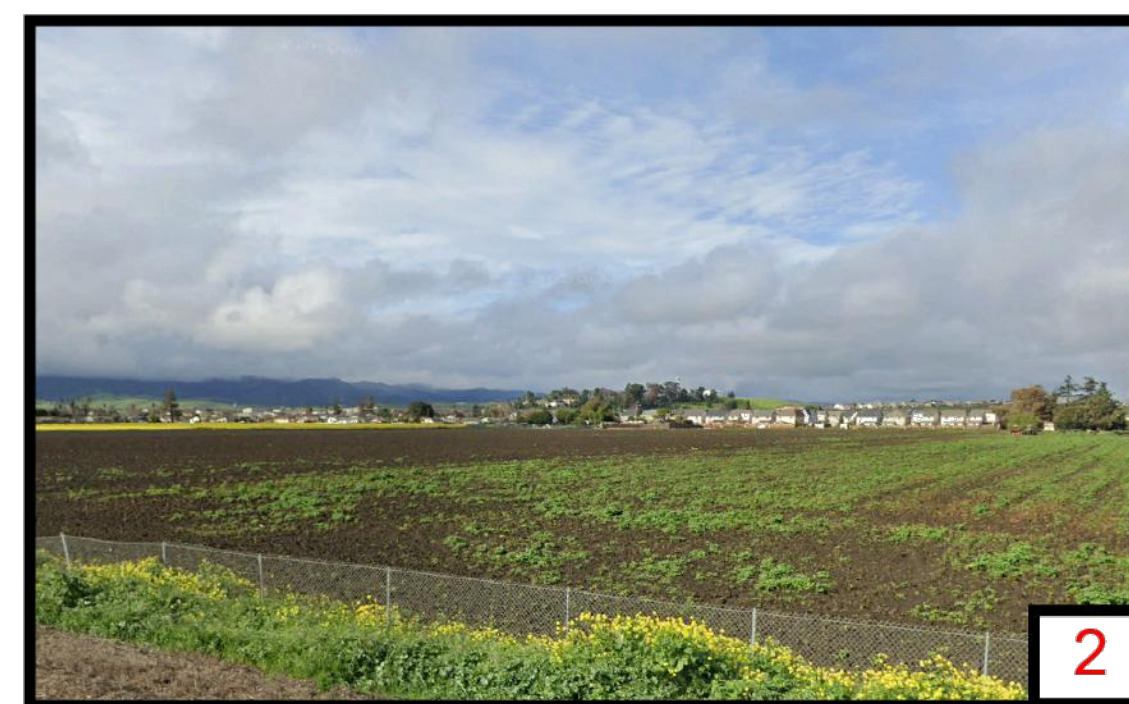
DEVELOPMENT TEAM

GOVERNMENT AGENCIES:	CITY OF HOLLISTER 339 5TH ST HOLLISTER, CA 95023 (831)636-4360	PLANNER/CIVIL ENGINEER:	HMH ENGINEERS CONTACT: PETE SMITH 1570 OAKLAND ROAD SAN JOSE, CA 95131 (669)295-2308
DEVELOPER/OWNER:	PAD INVESTMENT TRUST, ET AL CONTACT: AUGIE DENT 150 SAN FELIPE ROAD HOLLISTER, CA 95023 (831)801-0154	ARCHITECT:	SDG ARCHITECTS, INC CONTACT: JENNIFER MASTRO 3361 WALNUT BLVD, SUITE 120 BRENTWOOD, CA 94513 (925)634-7000

LANDS OF PAD INVESTMENT TRUST
CHAPPELL ROAD HOLLISTER, CA
PLANNED DEVELOPMENT
MS 2025-01 & PD 2025-01

NO	DATE	DESCRIPTION
△		
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△	3/3/2025	PER CITY COMMENTS
PROJECT NO:	5956.01	
CAD DWG FILE:	595601TS.DWG	
DESIGNED BY:	OB	
DRAWN BY:	OB	
CHECKED BY:	DM	
DATE:	NOVEMBER 21, 2024	
SCALE:	AS SHOWN	
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TITLE SHEET

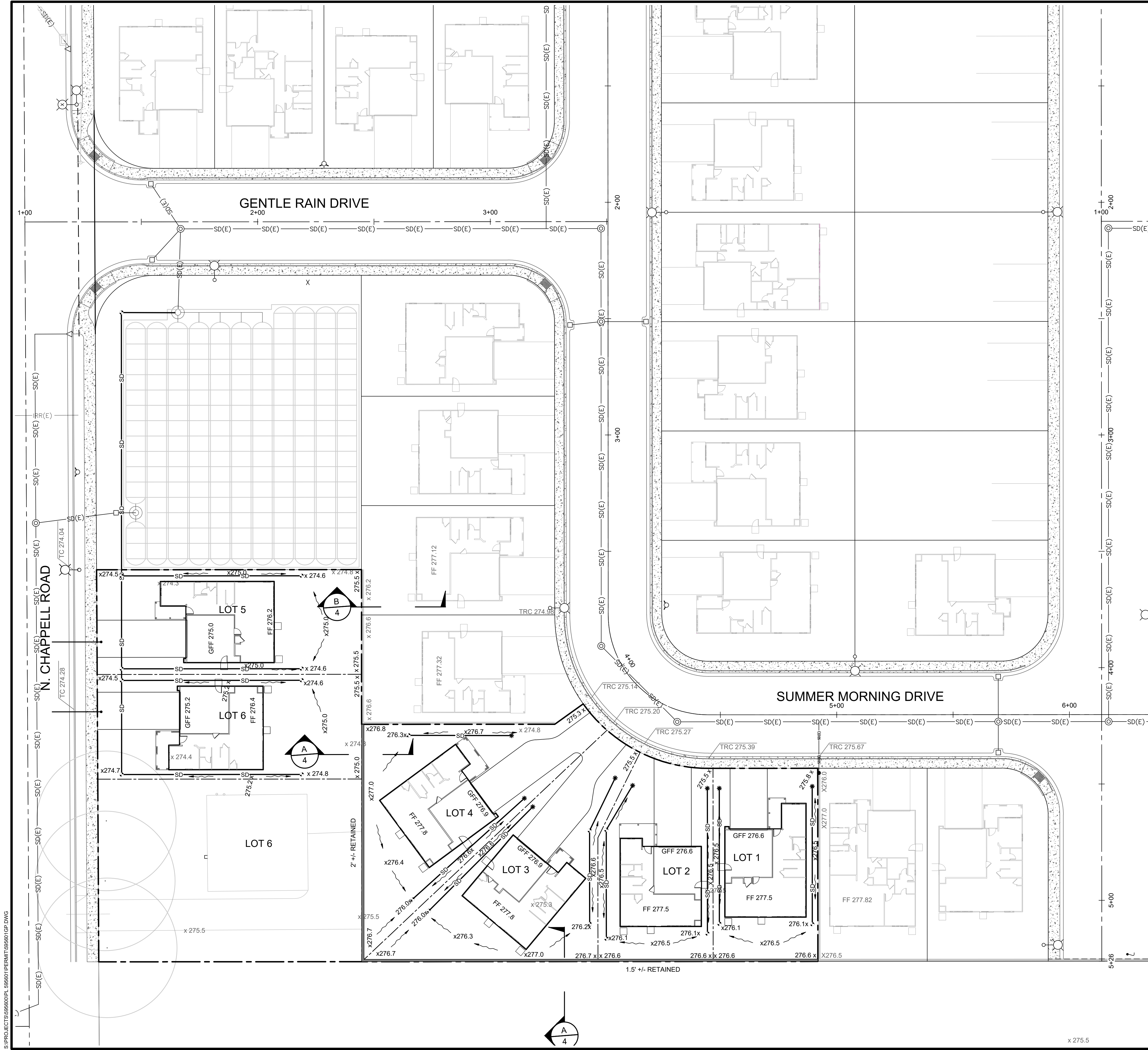


**CHAPPELL ROAD HOLLISTER, CA
 PLANNED DEVELOPMENT
 SITE PHOTOGRAPHS
 (HMH 5956.01)
 JANUARY 14, 2025**

**LANDS OF PAD INVESTMENT TRUST
 CHAPPELL ROAD HOLLISTER, CA
 PLANNED DEVELOPMENT
 MS 2025-01 & PD 2025-01**

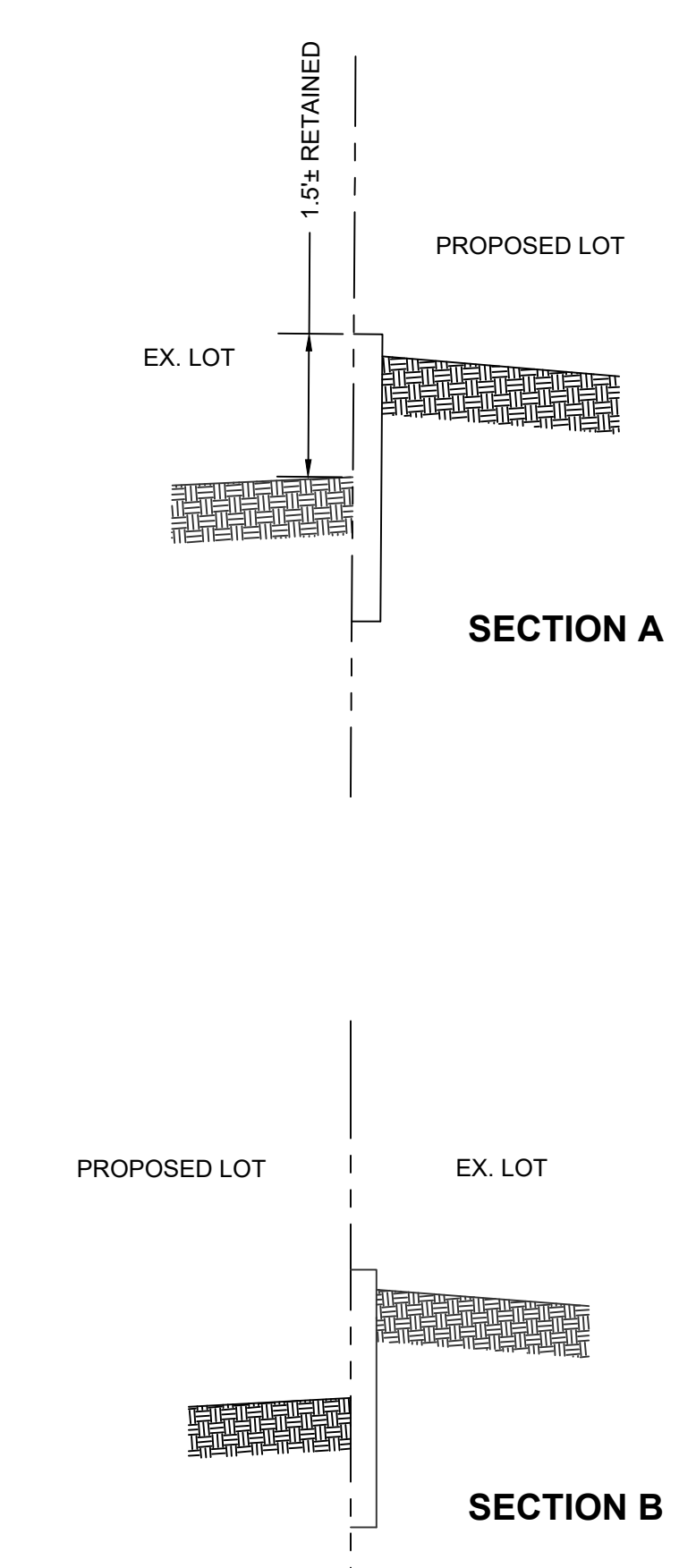
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SITE PHOTOGRAPHS



LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING BUILDING	---
PROPOSED BUILDING	---
PROPOSED DRIVEWAY	---
PROPOSED PROPERTY LINE	---
LANDSCAPE DRAIN	---
BUBBLE UP	*



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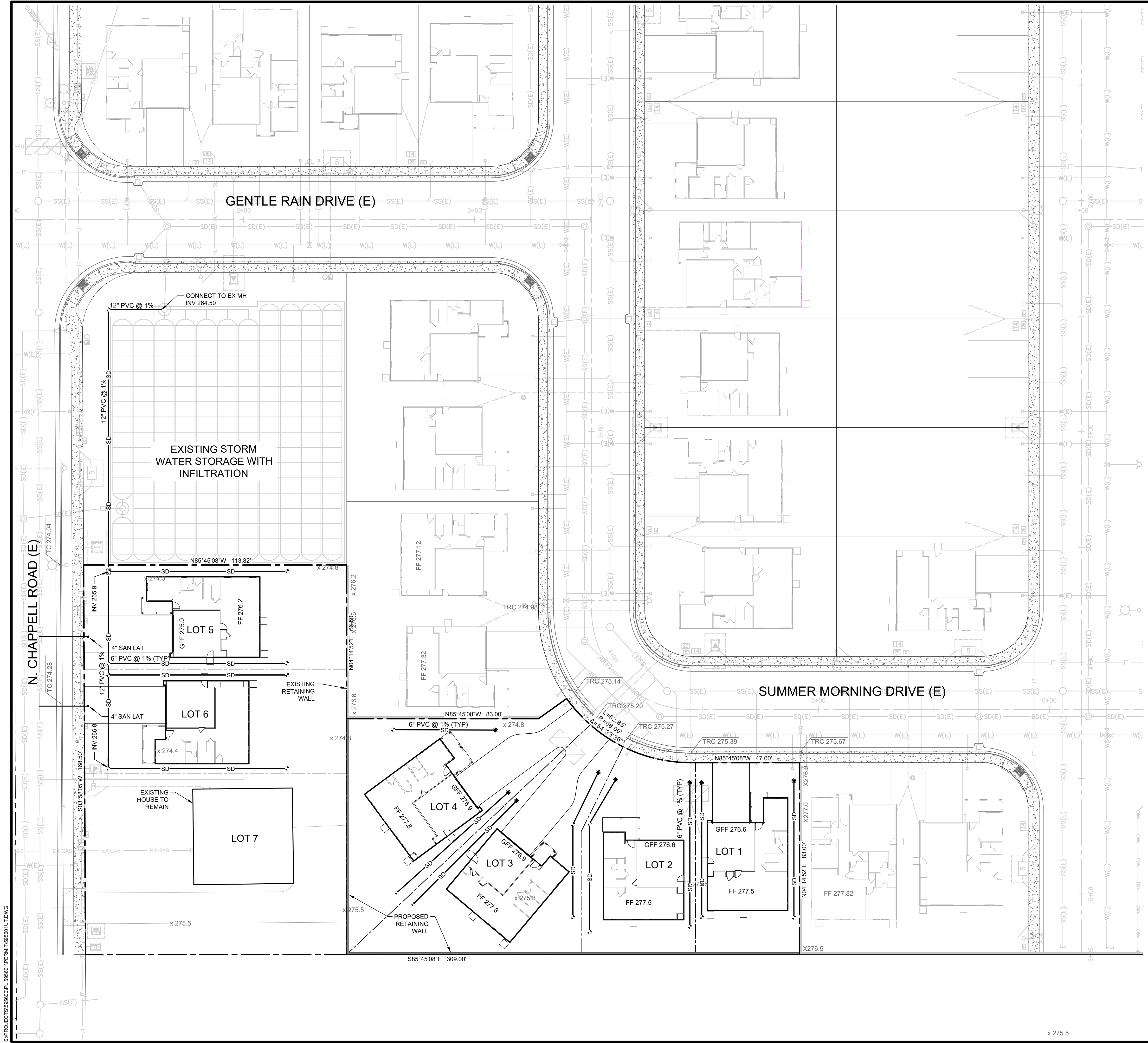
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PROJECT NO. 5956.01		
CAD DWG FILE: 595601GP.DWG		
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GRADING AND DRAINAGE PLAN

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LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING BUILDING	---
PROPOSED BUILDING	---
PROPOSED DRIVEWAY	---
PROPOSED PROPERTY LINE	---
EXISTING CURB	---
EXISTING SIDEWALK	---
EXISTING WATER LINE	W(E) --- W(E) --- W(E)
EXISTING STORM DRAIN LINE	SD(E) --- SD(E) --- SD(E)
EXISTING SANITARY SEWER LINE	SS(E) --- SS(E) --- SS(E)
EXISTING JOINT TRENCH LINE	JT --- JT --- JT
EXISTING OVERHEAD LINE	EUOH --- EUOH --- EUOH
EXISTING IRRIGATION LINE	IRR(E) --- IRR(E) --- IRR(E)
EXISTING GAS LINE	EX GAS --- EX GAS --- EX GAS
PROPOSED STORM DRAIN LINE	SD
PROPOSED LANDSCAPE DRAIN	---
PROPOSED BUBBLE UP	*
EXISTING STORM DRAIN MANHOLE	⊙
EXISTING SANITARY SEWER MANHOLE	⊙
EXISTING FIREHYDRANT	⊙
EXISTING ELECTROLIER	⊙
EXISTING SANITARY SEWER CLEAN OUT	⊙
EXISTING WATER VALVE	⊙
EXISTING TRANSFORMER	⊙

ABBREVIATIONS

PUBLIC UTILITY SERVICE EASEMENT	PUSE
EXISTING	(E)

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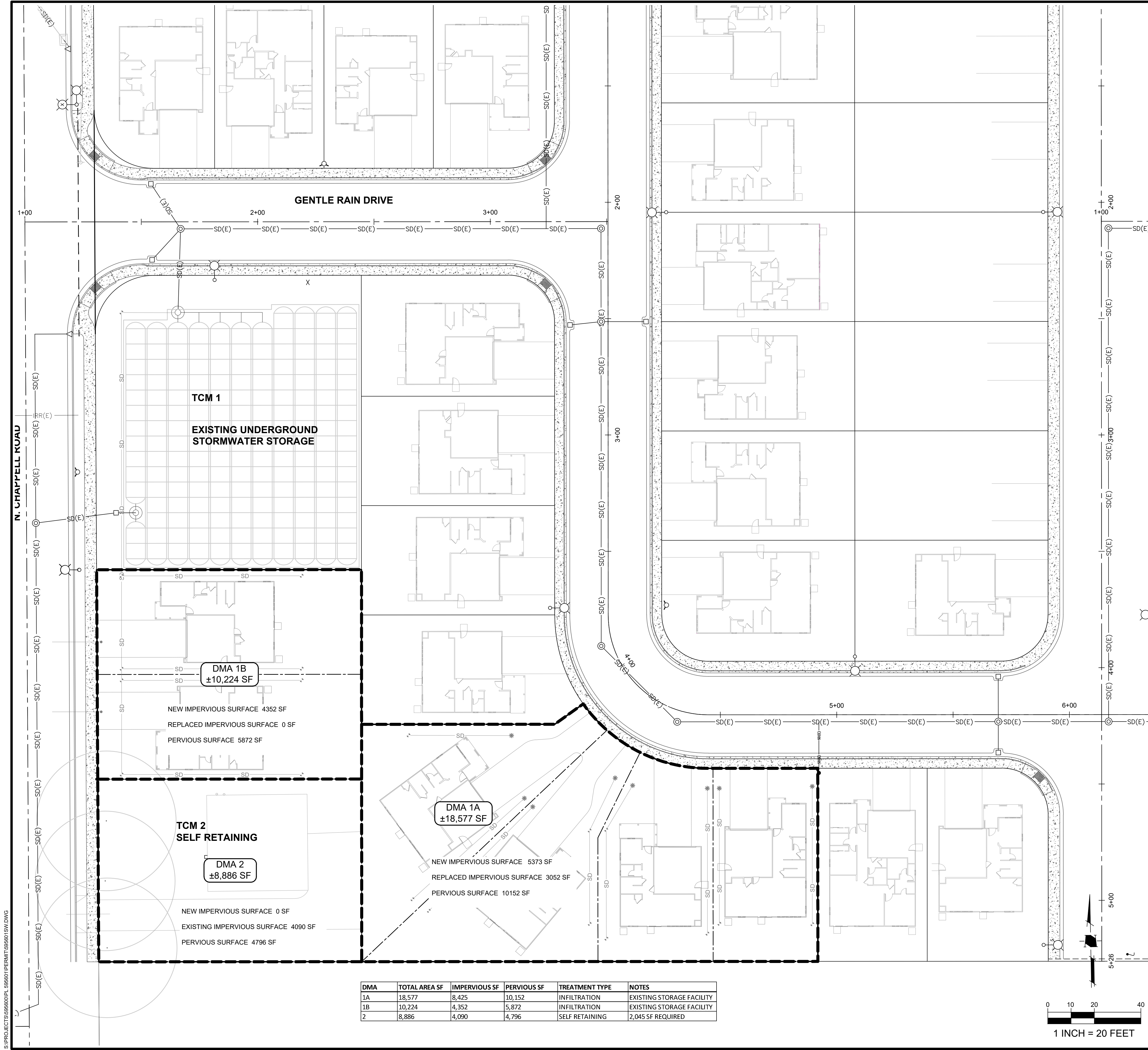
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UTILITY PLAN

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LEGEND

PROJECT BOUNDARY:

STORM DRAIN PIPE:

STORM DRAIN PIPE (EXISTING):

PERFORATED UNDERDRAIN PIPE:

STORM DRAIN MANHOLE:

STORM DRAIN MANHOLE (EXISTING):

CURB INLET:

CURB INLET (EXISTING):

CATCH BASIN:

CATCH BASIN (EXISTING):

DIRECTION OF SURFACE DRAINAGE:

DRAINAGE MANAGEMENT AREA (SEE SIZING CALCULATIONS, SHEET XX):

BIORETENTION AREA:

SELF-RETAINING AREA:

PROJECT SITE INFORMATION:

- SOILS TYPE: B
- GROUND WATER DEPTH: 55'
- NAME OF RECEIVING BODY: RUSTIC STREET INFILTRATION POND
- FLOOD ZONE: X
- FLOOD ELEVATION (IF APPLICABLE):

OPERATION AND MAINTENANCE INFORMATION:

I. PROPERTY INFORMATION:

I.A. PROPERTY ADDRESS:
APN:

I.B. PROPERTY OWNER: PAD INVESTMENT TRUST
150 SAN FELIPE ROAD
HOLLISTER CA 95023

II. RESPONSIBLE PARTY FOR MAINTENANCE:

II.A. CONTACT: HOA

II.B. PHONE NUMBER OF CONTACT: TBD

II.C. EMAIL: TBD

II.D. ADDRESS: TBD

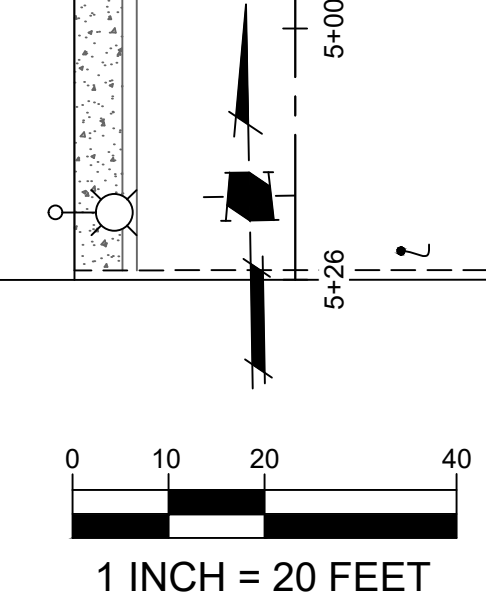
SOURCE CONTROL MEASURES:

- BENEFICIAL LANDSCAPING.
- USE OF WATER EFFICIENT IRRIGATION SYSTEMS.
- MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING).
- STORM DRAIN LABELING.

SITE DESIGN MEASURES:

- PROTECT EXISTING TREES, VEGETATION, AND SOIL.
- PRESERVE OPEN SPACE AND NATURAL DRAINAGE PATTERNS.
- LANDSCAPING
 - WALKWAYS AND PATIOS.
 - PRIVATE STREETS AND SIDEWALKS.
- DIRECT RUNOFF FROM ROOFS, SIDEWALKS, PATIOS TO LANDSCAPED AREAS.
- CLUSTER STRUCTURES/PAVEMENT.
- PLANT TREES ADJACENT TO AND IN PARKING AREAS AND ADJACENT TO OTHER IMPERVIOUS AREAS.

DMA	TOTAL AREA SF	IMPERVIOUS SF	PERVIOUS SF	TREATMENT TYPE	NOTES
1A	18,577	8,425	10,152	INFILTRATION	EXISTING STORAGE FACILITY
1B	10,224	4,352	5,872	INFILTRATION	EXISTING STORAGE FACILITY
2	8,886	4,090	4,796	SELF-RETAINING	2,045 SF REQUIRED



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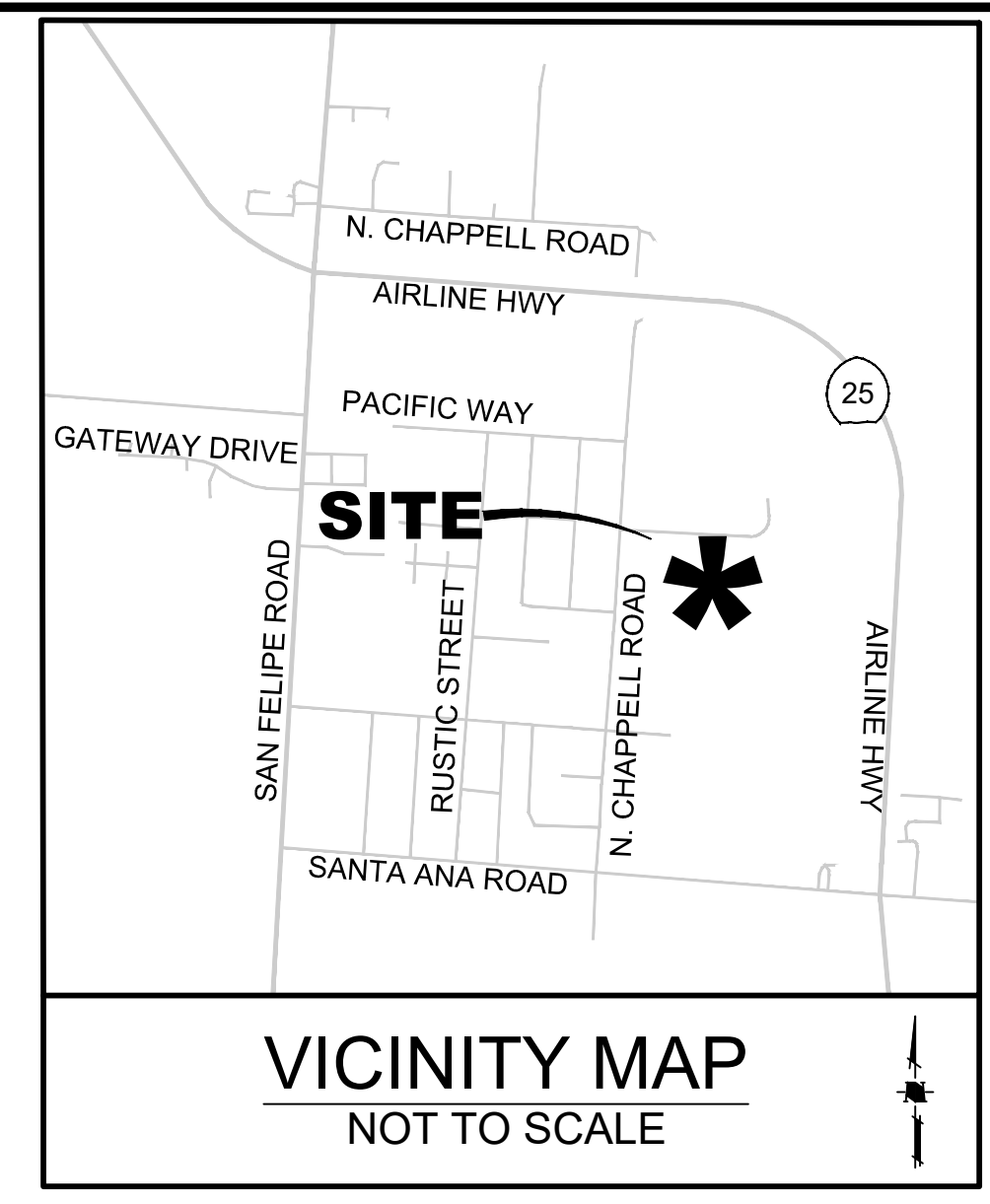
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 DESIGNED BY: OB
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 CHECKED BY: DM
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STORMWATER CONTROL PLAN

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LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
EXISTING EASEMENT	---
EXISTING BUILDING	---
PROPOSED BUILDING	---
PROPOSED DRIVEWAY	---
EXISTING DRIVEWAY	---
PROPOSED PROPERTY LINE	---
PEDESTRIAN PATH	---
EXISTING CURB	---
EXISTING SIDEWALK	---
EXISTING TREE	○

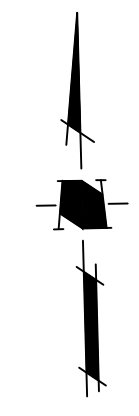
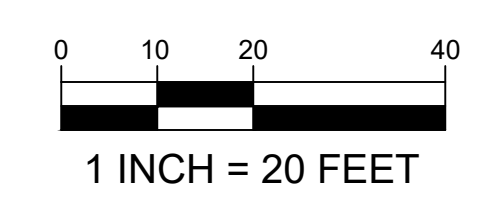
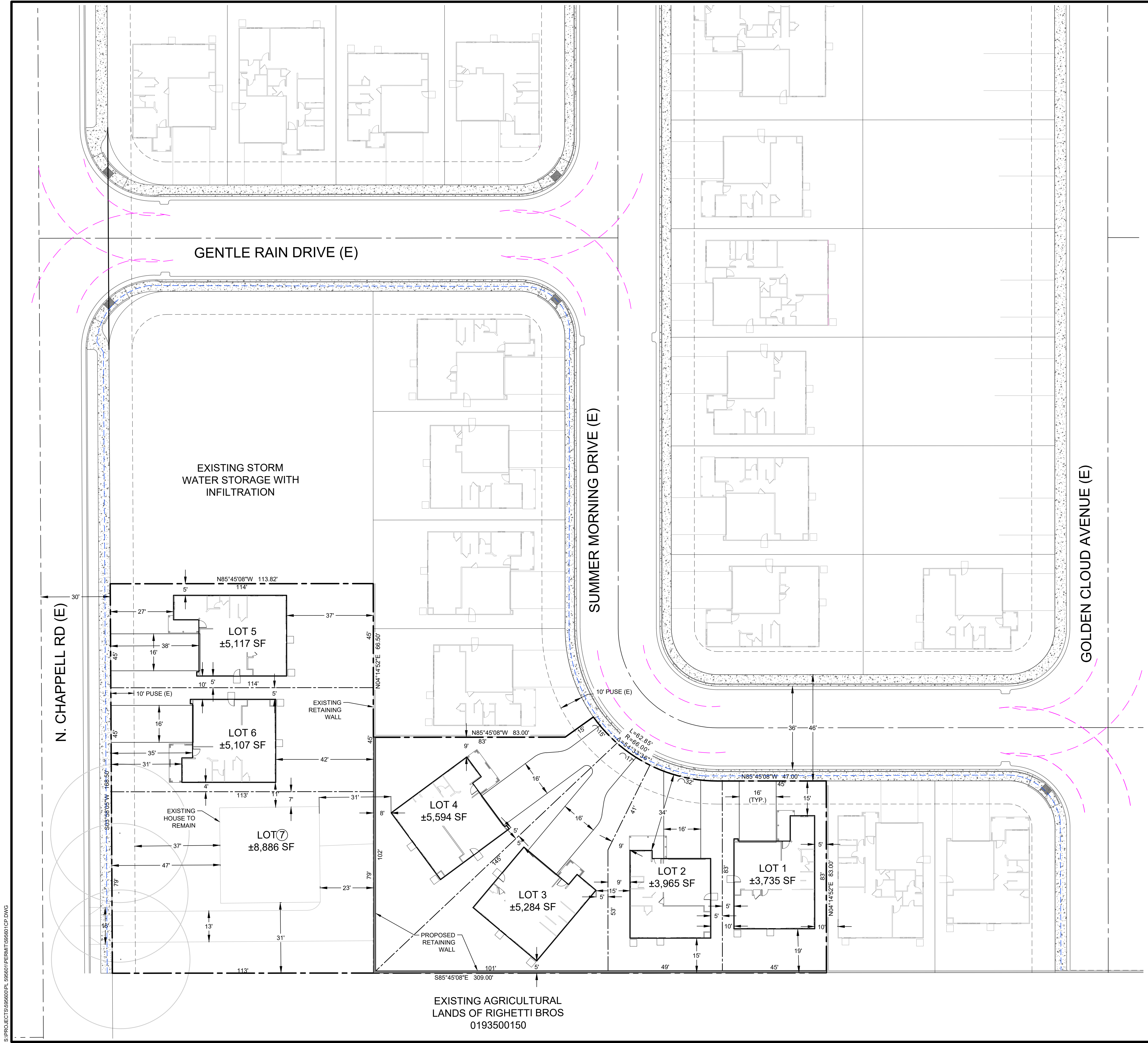
ABBREVIATIONS

PUBLIC UTILITY SERVICE EASEMENT	PUSE
EXISTING	(E)

LANDS OF PAD INVESTMENT TRUST
CHAPPELL ROAD HOLLISTER, CA
PLANNED DEVELOPMENT
MS 2025-01 & PD 2025-01

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3/3/2025		PER CITY COMMENTS
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DATE:	NOVEMBER 21, 2024	
SCALE:	AS SHOWN	
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CIRCULATION PLAN



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FLR. PLAN GENERAL NOTES

- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILINGS, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 61 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 608.3 & 609.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.S.D.

- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.D.C. 101.11 & C.R.C. R311.12, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7

- GLAZING NOTES**
- 3030 FX ← OPERATION
HEIGHT (FT-IN") I.e. 5'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION ABBREVIATIONS
FX = FIXED CS = CASEMENT
SH = SINGLE HUNG AM = AWNING
SL = SLIDER HP = HOPPER
DH = DOUBLE HUNG XOX = XOX SLIDER

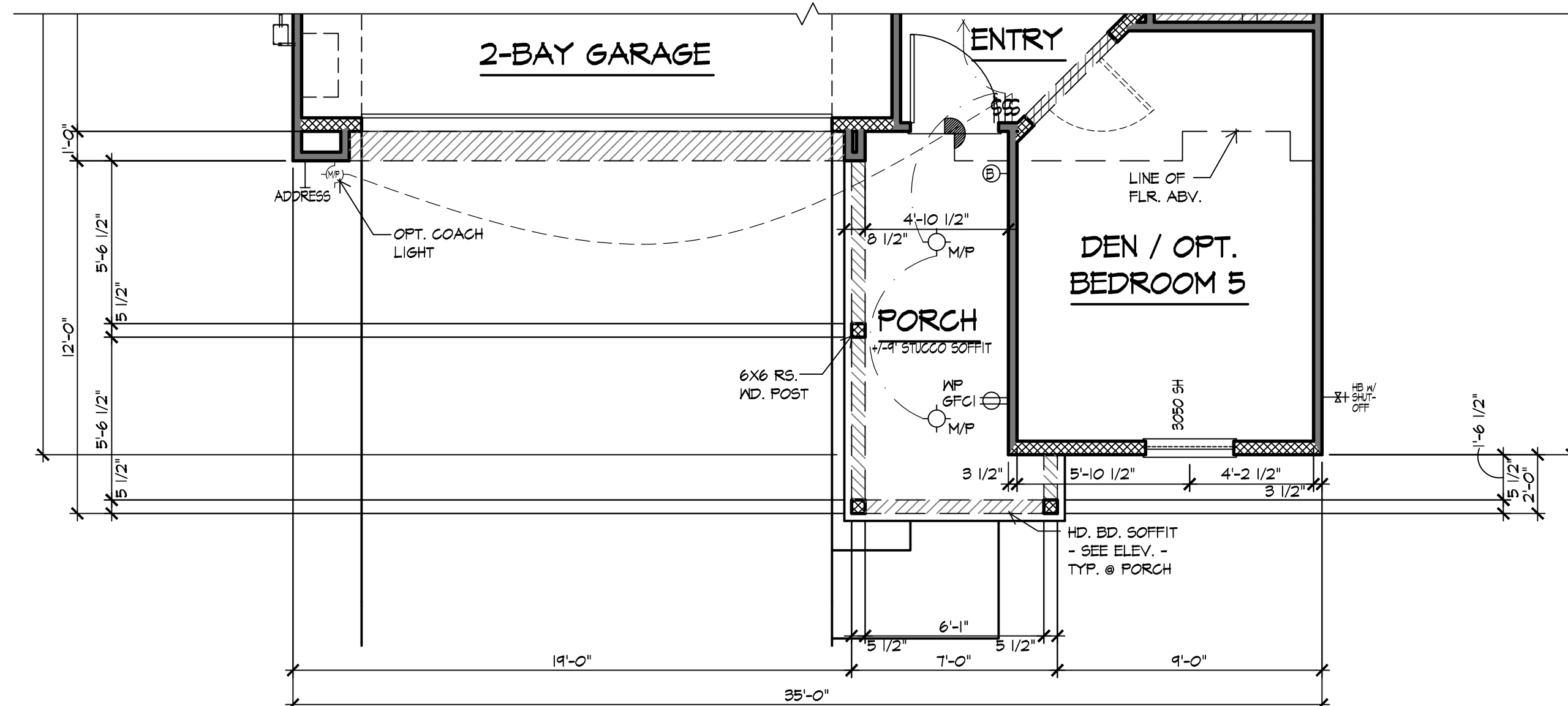
- ALL GLAZING IS DUAL PANE INSULATING GLASS.
- WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER.
- GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
- HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
HEIGHT (FT-IN") I.e. 8'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH PR = PAIR
SSD = SLIDING GLASS DOOR

- ALL DOORS ARE HOLLOW CORE, U.O.N.
- DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
- DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
- MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
- WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
- ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

WALLS LEGEND

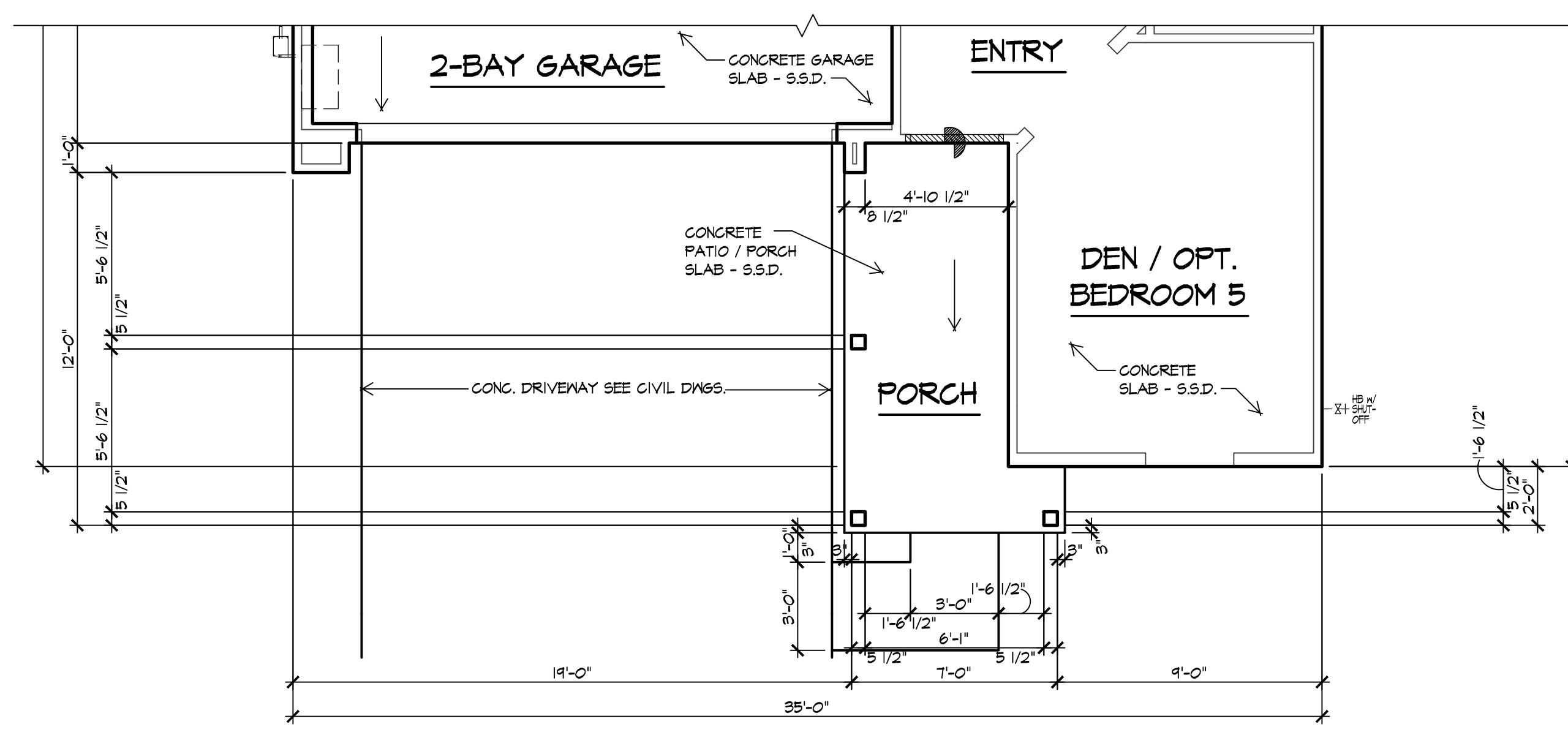
	2x4 MD. STUD WALL
	2x6 MD. STUD WALL
	2x8 MD. STUD WALL
	2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
	SOFFIT OR FURRED CEILING
	POT SHELF



**ELEVATION 'C'
FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO FIRST FLOOR PLAN, SHEET 2288-IB

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLAN, SHEET 2288-7



**ELEVATION 'C'
SLAB INTERFACE PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES AND DIMENSIONS REFER TO SLAB INTERFACE PLAN, SHEET 2288-IA

**ELEVATION 'C'
PARTIAL SLAB
INTERFACE &
FIRST FLOOR PLAN**

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA GC CRI OL PSU



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Brentwood, CA 94513
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sdgarchitectsinc.com

EVERGLEN
HOLLISTER, CA



FLR. PLAN GENERAL NOTES

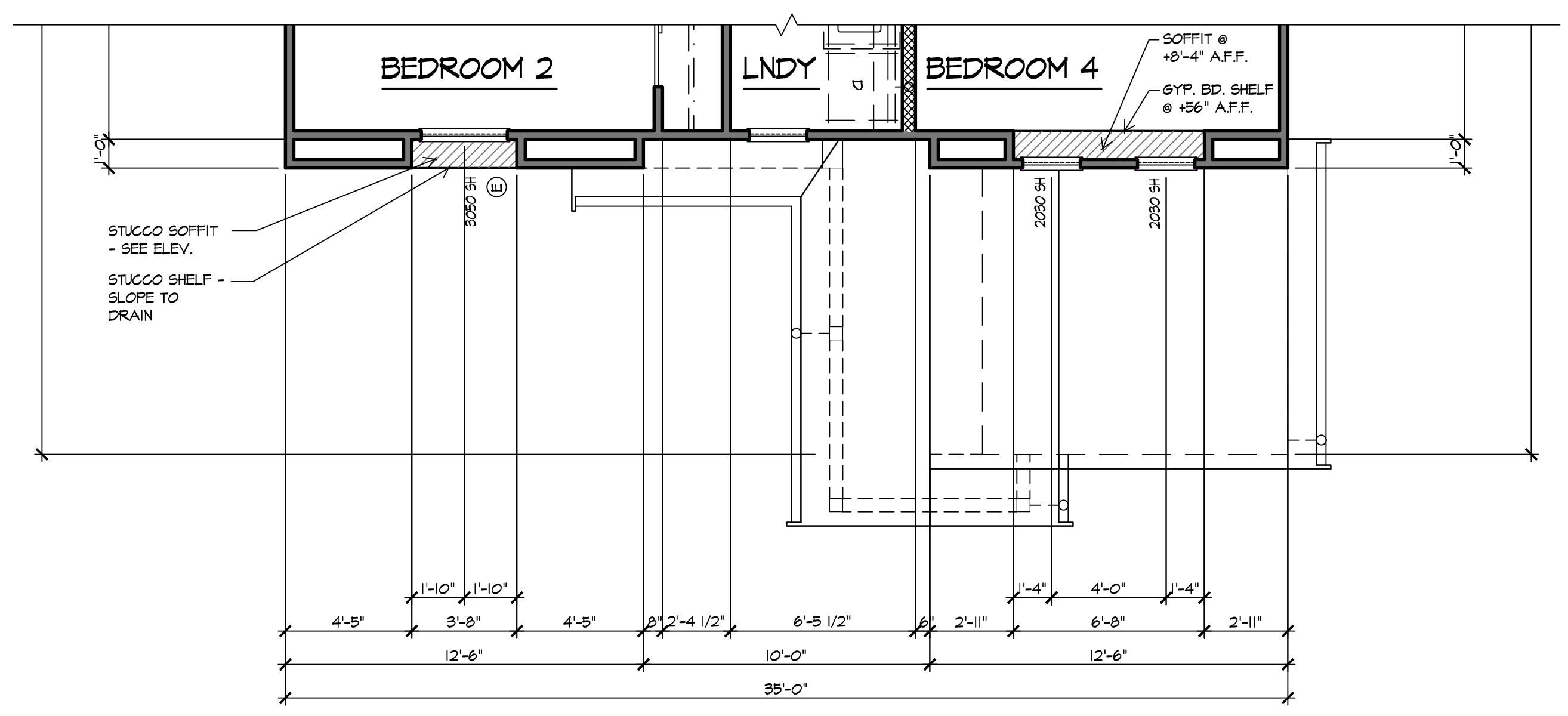
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 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.D.G. 101.11 & C.R.C. R311.12, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7

- GLAZING NOTES**
- 3030 FX ← OPERATION
HEIGHT (FT-IN") I.e. 5'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION ABBREVIATIONS**
- | | |
|------------------|------------------|
| FX = FIXED | CS = CASEMENT |
| SH = SINGLE HUNG | AM = AWNING |
| SL = SLIDER | HP = HOPPER |
| DH = DOUBLE HUNG | XOX = XOX SLIDER |
- ALL GLAZING IS DUAL PANE INSULATING GLASS.
 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER.
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
HEIGHT (FT-IN") I.e. 8'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS**
- | | |
|--------------------------|-------------------|
| SC = SOLID CORE | HM = HOLLOW METAL |
| FR = FRENCH | PR = PAIR |
| S6D = SLIDING GLASS DOOR | |
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

- WALLS LEGEND**
- | | |
|--|--|
| | 2x4 MD. STUD WALL |
| | 2x6 MD. STUD WALL |
| | 2x8 MD. STUD WALL |
| | 2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN |
| | SOFFIT OR FURRED CEILING |
| | POT SHELF |



**ELEVATION 'C'
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 2288-1C

**ELEVATION 'C'
PARTIAL SECOND
FLOOR PLAN**

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA GC CRI OL PSU

PLAN 2288 - SHEET
2288-4B



DO NOT SCALE THESE DRAWINGS



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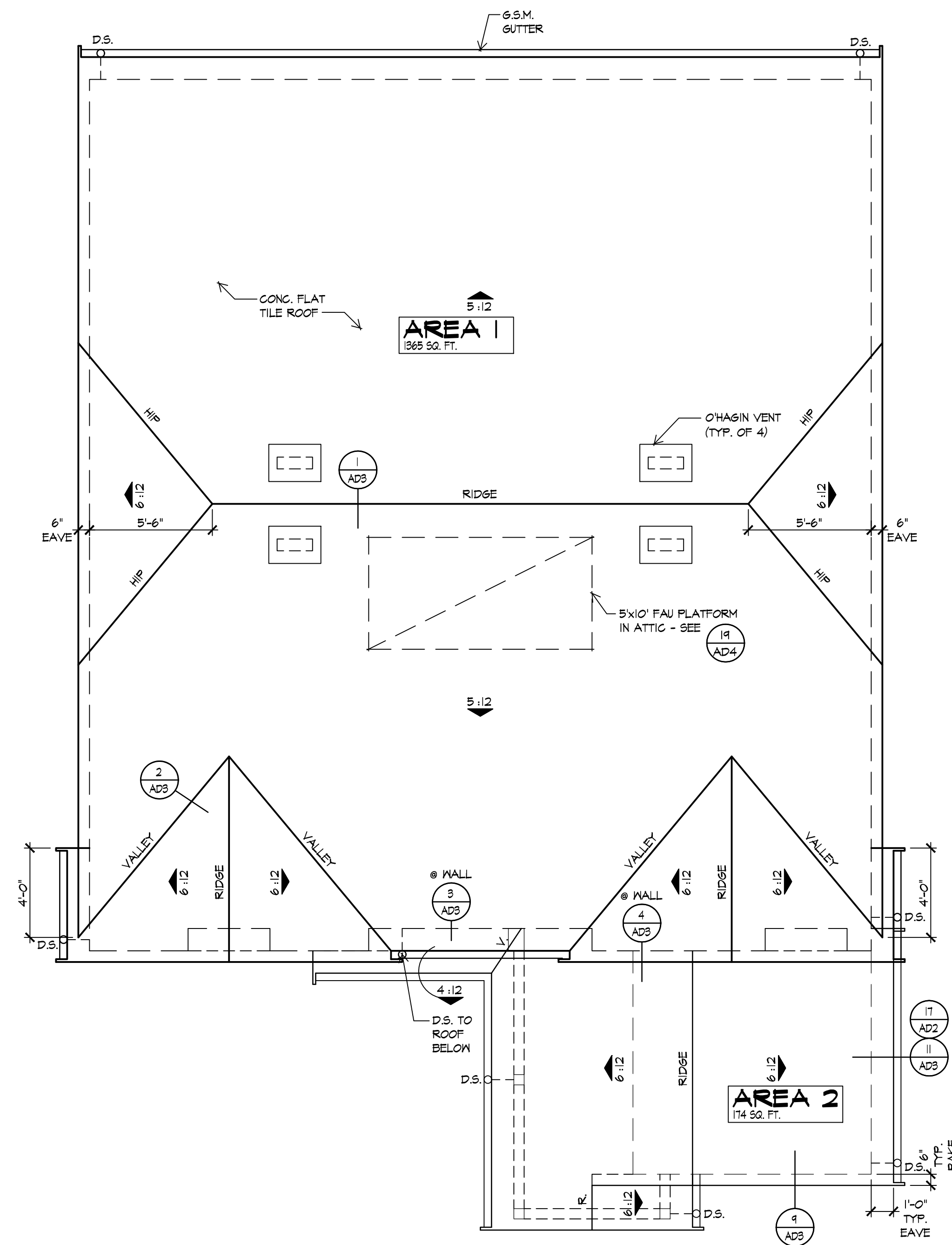
ATTIC VENTILATION NOTES

1. PROVIDE ROOF / ATTIC VENTILATION IN COMPLIANCE WITH C.R.C. SECTION R806.
 2. PROVIDE VENTILATING OPENINGS FOR EACH SEPARATE SPACE OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES, WHERE CEILINGS OCCUR AT UNDERSIDE OF ROOF FRAMING MEMBERS, WHERE SHOWN OR WHERE NOT SHOWN, TO ACHIEVE FULL CODE COMPLIANT CROSS VENTILATION.
 3. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE SHALL BE PERMITTED.
 4. PROTECT VENTILATING OPENINGS AGAINST ENTRANCE OF RAIN AND/OR SNOW.
 5. BLOCKING, BRIDGING AND INSULATION SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH AIR MOVEMENT.
 6. NOT LESS THAN 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 7. PROVIDE CORROSION-RESISTANT WIRE CLOTH SCREENINGS, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS OF 1/8" MINIMUM AND 1/4" MAXIMUM, FOR ALL EXTERIOR OPENING INTO ATTIC SPACE.
 8. UPPER VENTILATION:
PROVIDE UPPER VENTILATION WITH GABLE VENTS AND/OR OHAGIN VENTS, AS SHOWN IN ROOF PLAN AND CALCULATIONS BELOW.
 9. LOWER VENTILATION:
PROVIDE LOWER VENTILATION WITH SCREEN VENTS AND/OR OHAGIN VENTS, AS SHOWN IN ROOF PLAN, CALCULATIONS AND NOTES BELOW.
A. SCREEN VENTS: AREA = 24 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 16" o.c., OR 46 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 24" o.c.; (VERIFY NET VENTILATING AREA WITH VENT MFR. & RECALCULATE VENTILATION AS REQUIRED FOR COMPLIANCE).
- NOTE:
RECALCULATE VENTILATION REQUIREMENTS FOR COMPLIANCE IF RAFTER / TRUSS BLOCKS ARE USED IN PLACE OF SCREEN VENTS. RAFTER / TRUSS BLOCKS: (3) 2" DIA. HOLES. AREA = 4.42 SQ. IN. PER BLOCK. SEE STRUCTURAL DRAWINGS FOR RESTRICTIONS DUE TO SHEAR WALL REQUIREMENTS, IF ANY.
10. VERIFY NET FREE AREA OF VENTS WITH MANUFACTURER SPECIFICATIONS. ANY CHANGE IN SIZE OR NUMBER OF VENTS REQUIRES RECALCULATION OF VENTING PER THE VENT CALCULATIONS ON THIS SHEET.

ATTIC VENT CALCS.

AREA 1 - VENTILATION REQUIRED:
1365 S.F. ATTIC AREA / 300 = 4.55 S.F.
REQUIRED VENTILATION:
4.55 S.F. / 2 = 2.28 S.F. (OR 328 S.I.)
UPPER VENTILATION PROVIDED
(4) OHAGIN VENTS @ 48.75 S.I. = 345 S.I.
345 S.I. PROVIDED > 328 S.I. REQ'D
LOWER VENTILATION PROVIDED (MIN.)
(2) SCREENED VENTS @ 46 S.I. = 368 S.I.
368 S.I. PROVIDED > 328 S.I. REQ'D.

AREA 2 - VENTILATION REQUIRED:
174 S.F. ATTIC AREA / 150 = 1.16 S.F.
REQUIRED VENTILATION:
1.16 S.F. (OR 167 S.I.)
VENTILATION PROVIDED (MIN.)
(4) SCREENED VENTS @ 46 S.I. = 184 S.I.
184 S.I. PROVIDED > 167 S.I. REQ'D.



**ELEVATION 'C'
ROOF PLAN**
SCALE: 1/4" = 1'-0"

**ELEVATION 'C'
ROOF PLAN &
CALCULATIONS**

REVISIONS

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310538
PM	LGA, GC, CR1, OL, PSU

PLAN 2288 - SHEET

2288-4C

DO NOT SCALE THESE DRAWINGS



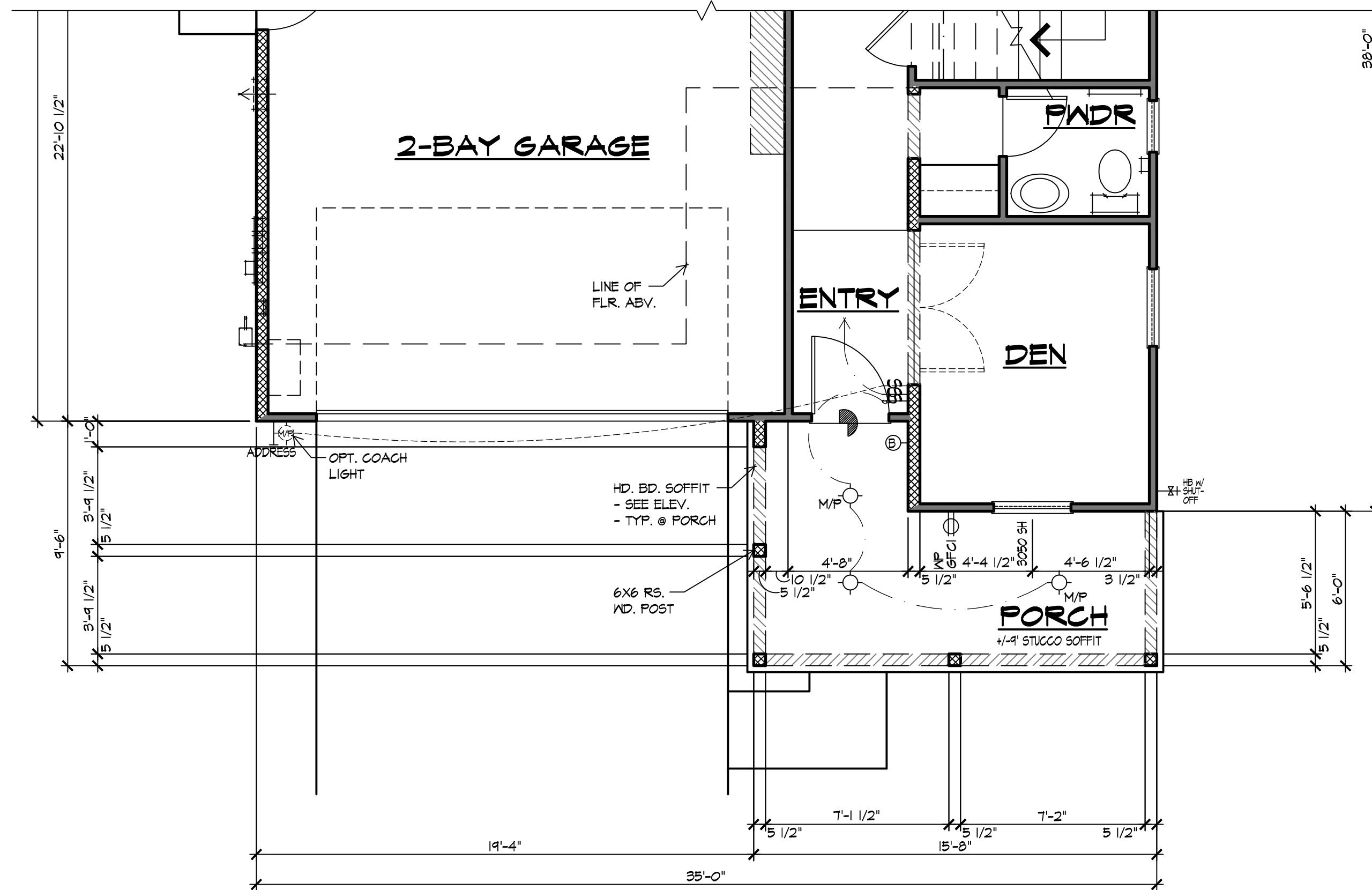
REVISIONS

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310538
PM	LGA, GC, CR1, OL, PSU

PLAN 2288 - SHEET

2288-4C

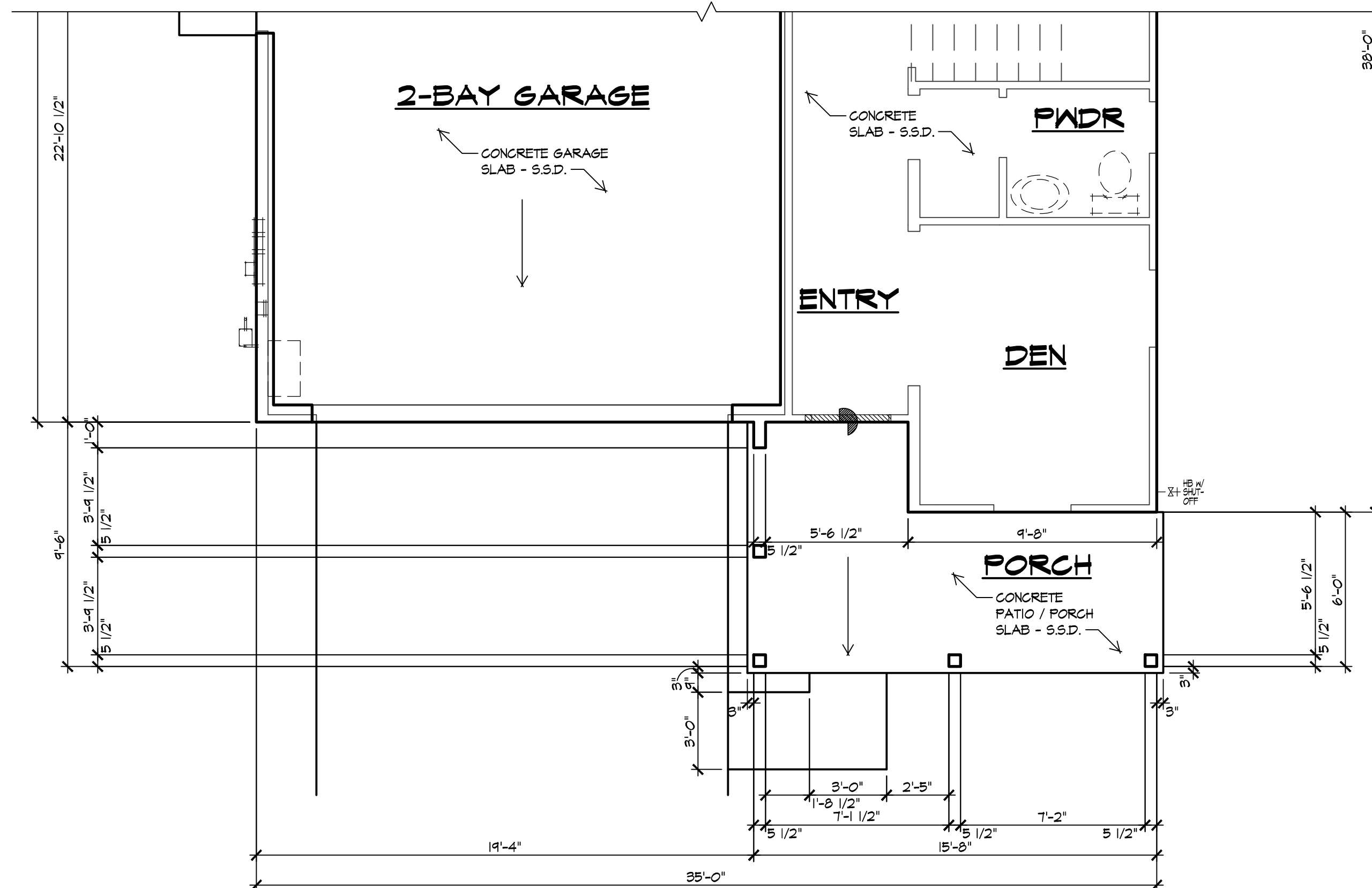
DO NOT SCALE THESE DRAWINGS



**ELEVATION 'C'
PARTIAL FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO FIRST FLOOR PLAN, SHEET 1674-1B

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLANS, SHEET 1674-T



**ELEVATION 'C'
PARTIAL SLAB INTERFACE PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES AND DIMENSIONS REFER TO SLAB INTERFACE PLAN, SHEET 1674-1A

FLR. PLAN GENERAL NOTES

- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILING, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 61 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 602.3 & 602.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - 5.5.D.

- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.B.C. 1011.1 & C.R.C. R311.12, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7

- GLAZING NOTES**
- 3030 FX ← OPERATION
HEIGHT (FT-IN") I.e. 5'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION ABBREVIATIONS
FX = FIXED GS = CASEMENT
SH = SINGLE HUNG AM = AWNING
SL = SLIDER HP = HOPPER
DH = DOUBLE HUNG XOX = XOX SLIDER
- ALL GLAZING IS DUAL PANE INSULATING GLASS.
 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER.
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
HEIGHT (FT-IN") I.e. 8'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH PR = PAIR
SSD = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

- WALLS LEGEND**
- 2x4 WD. STUD WALL
 - 2x6 WD. STUD WALL
 - 2x8 WD. STUD WALL
 - 2x WD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
 - SOFFIT OR FURRED CEILING
 - POT SHELF



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**ELEVATION 'C'
PARTIAL SLAB
INTERFACE &
FIRST FLOOR PLAN**

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA GC CRI OL PSU

PLAN 1674 - SHEET
1674-4A

DO NOT SCALE THESE DRAWINGS



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ELEVATION 'C'
PARTIAL SECOND
FLOOR PLAN

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310530
PM	LGA GC CRI OL PSU

PLAN 1674 - SHEET

1674-4B

FLR. PLAN GENERAL NOTES

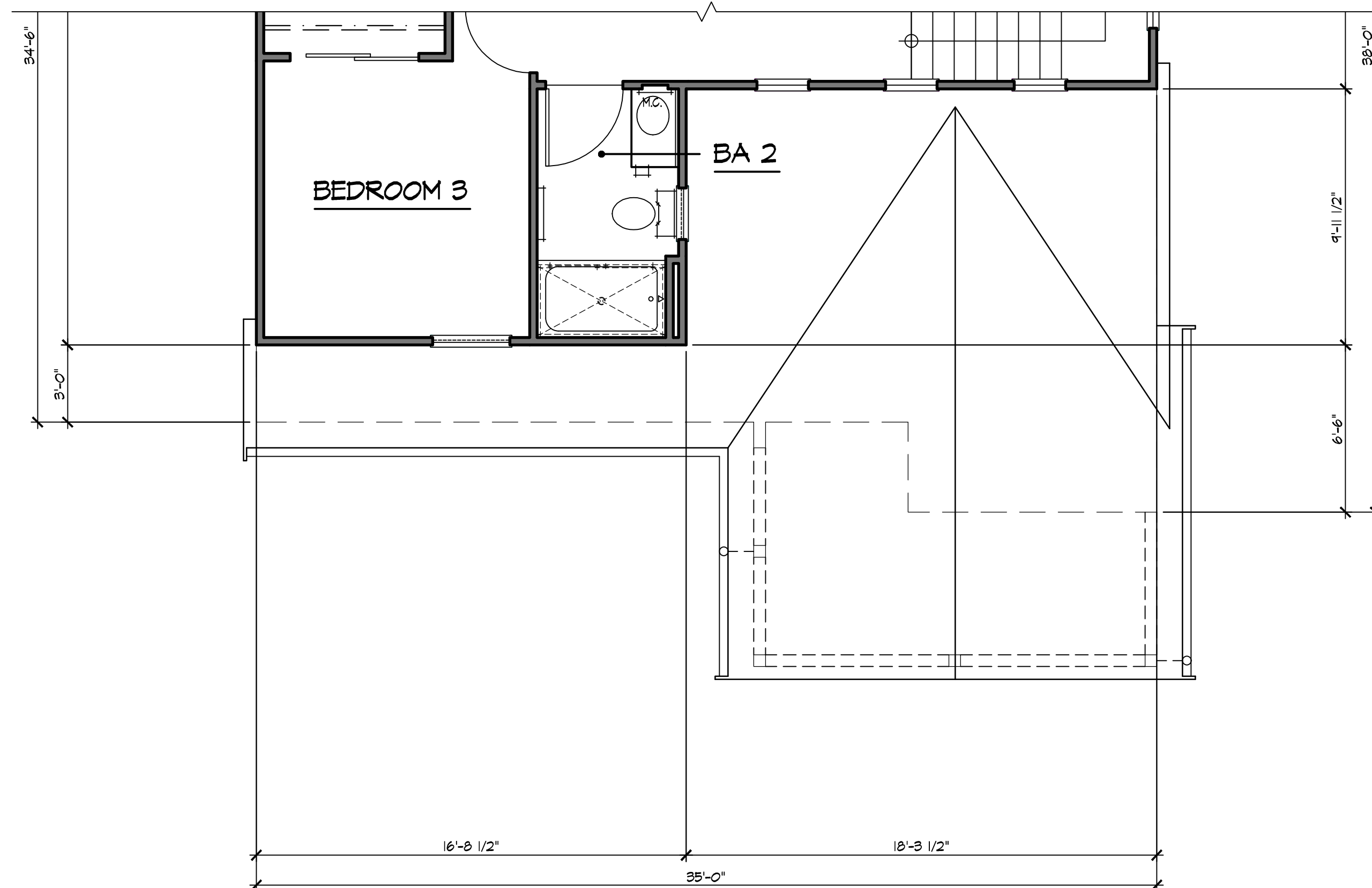
- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILING, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 61 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 608.3 & 608.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.D.

- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.D.G. 101.11 & C.R.C. R311.12, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7

- GLAZING NOTES**
- 3030 FX ← OPERATION
HEIGHT (FT-IN') I.e. 5'-0"
WIDTH (FT-IN') I.e. 3'-0"
- OPERATION ABBREVIATIONS**
FX = FIXED GS = CASEMENT
SH = SINGLE HUNG AM = AWNING
SL = SLIDER HP = HOPPER
DH = DOUBLE HUNG XOX = XOX SLIDER
- ALL GLAZING IS DUAL PANE INSULATING GLASS.
 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
HEIGHT (FT-IN') I.e. 8'-0"
WIDTH (FT-IN') I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS**
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH PR = PAIR
SSD = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENINGS, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENINGS, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

- WALLS LEGEND**
- 2x4 WD. STUD WALL
 - 2x6 WD. STUD WALL
 - 2x8 WD. STUD WALL
 - 2x WD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
 - SOFFIT OR FURRED CEILING
 - POT SHELF



ELEVATION 'C'
PARTIAL SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 1674-1C

DO NOT SCALE THESE DRAWINGS

V:\131030_16 Everglades Hollister\1674-4B ELEVATION 'C' PARTIAL SECOND FLOOR PLAN.dwg, 10/31/2023 10:26:25 AM, PLOT1



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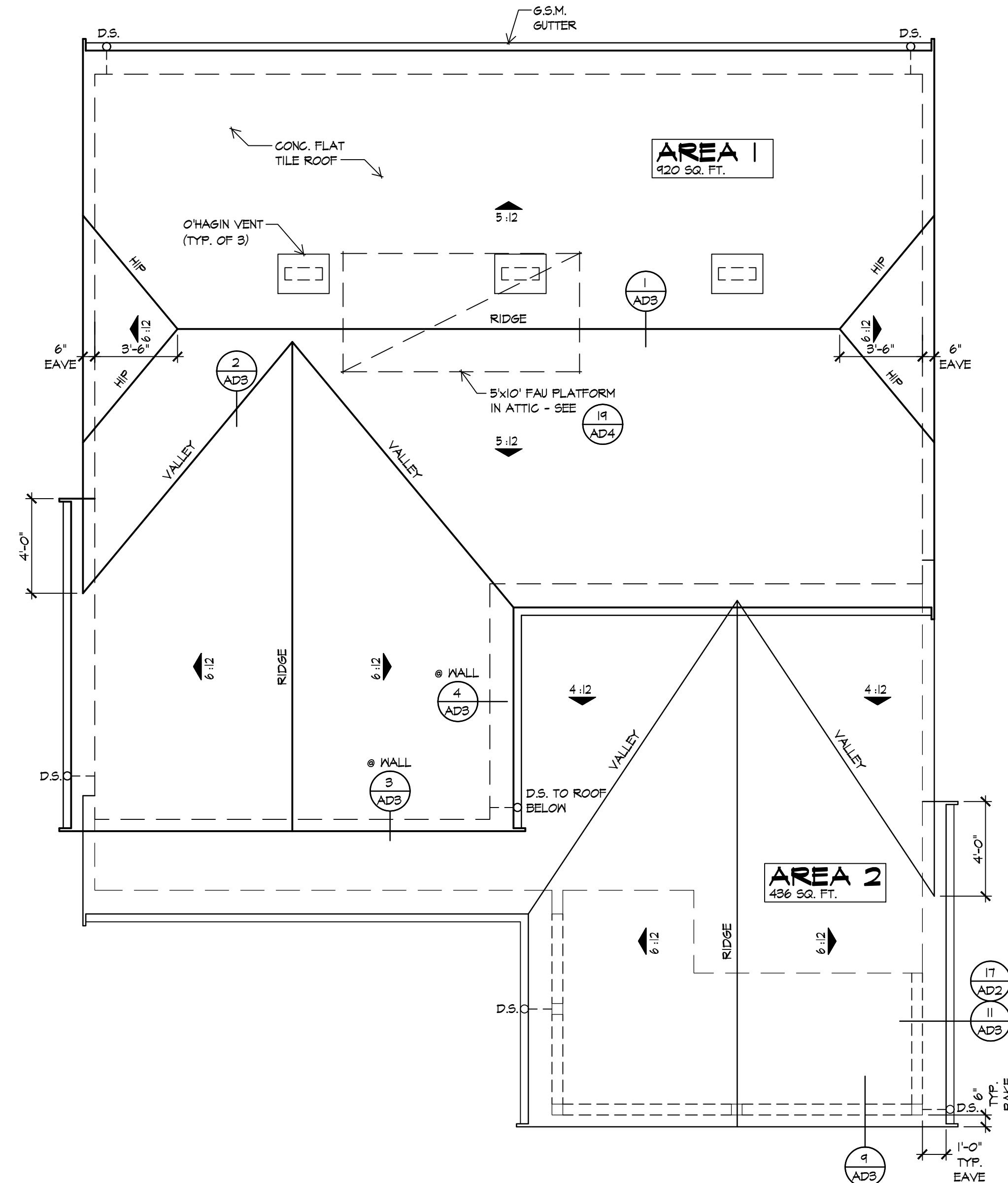
ATTIC VENTILATION NOTES

1. PROVIDE ROOF / ATTIC VENTILATION IN COMPLIANCE WITH C.R.C. SECTION R806.
 2. PROVIDE VENTILATING OPENINGS FOR EACH SEPARATE SPACE OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES, WHERE CEILINGS OCCUR AT UNDERSIDE OF ROOF FRAMING MEMBERS, WHERE SHOWN OR WHERE NOT SHOWN, TO ACHIEVE FULL CODE COMPLIANT CROSS VENTILATION.
 3. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE SHALL BE PERMITTED.
 4. PROTECT VENTILATING OPENINGS AGAINST ENTRANCE OF RAIN AND/OR SNOW.
 5. BLOCKING, BRIDGING AND INSULATION SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH AIR MOVEMENT.
 6. NOT LESS THAN 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 7. PROVIDE CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS OF 1/8" MINIMUM AND 1/4" MAXIMUM, FOR ALL EXTERIOR OPENING INTO ATTIC SPACE.
 8. UPPER VENTILATION:
 PROVIDE UPPER VENTILATION WITH GABLE VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN AND CALCULATIONS BELOW.
 9. LOWER VENTILATION:
 PROVIDE LOWER VENTILATION WITH SCREEN VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN, CALCULATIONS AND NOTES BELOW.
 A. SCREEN VENTS: AREA = 24 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 16" o.c., OR 46 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 24" o.c.; (VERIFY NET VENTILATING AREA WITH VENT MFR & RECALCULATE VENTILATION AS REQUIRED FOR COMPLIANCE).
- NOTE:
 RECALCULATE VENTILATION REQUIREMENTS FOR COMPLIANCE IF RAFTER / TRUSS BLOCKS ARE USED IN PLACE OF SCREEN VENTS. RAFTER / TRUSS BLOCKS: (3) 2" DIA. HOLES. AREA = 9.42 SQ. IN. PER BLOCK. SEE STRUCTURAL DRAWINGS FOR RESTRICTIONS DUE TO SHEAR WALL REQUIREMENTS, IF ANY.
10. VERIFY NET FREE AREA OF VENTS WITH MANUFACTURER SPECIFICATIONS. ANY CHANGE IN SIZE OR NUMBER OF VENTS REQUIRES RECALCULATION OF VENTING PER THE VENT CALCULATIONS ON THIS SHEET.

ATTIC VENT CALCS.

AREA 1 - VENTILATION REQUIRED:
 420 S.F. ATTIC AREA / 300 = 3.07 S.F.
 REQUIRED VENTILATION:
 3.07 S.F. / 2 = 1.54 S.F. (OR 222 S.I.)
 UPPER VENTILATION PROVIDED
 (3) OHASIN VENT(S) @ 47.50 S.I. = 242.5 S.I.
 242.5 S.I. PROVIDED > 222 S.I. REQ'D.
 LOWER VENTILATION PROVIDED (MIN.)
 (5) SCREENED VENT(S) @ 46 S.I. = 230 S.I.
 230 S.I. PROVIDED > 222 S.I. REQ'D.

AREA 2 - VENTILATION REQUIRED:
 436 S.F. ATTIC AREA / 150 = 2.91 S.F.
 REQUIRED VENTILATION:
 2.91 S.F. (OR 414 S.I.)
 VENTILATION PROVIDED (MIN.)
 (10) SCREENED VENT(S) @ 46 S.I. = 460 S.I.
 460 S.I. PROVIDED > 414 S.I. REQ'D.



**ELEVATION 'C'
 ROOF PLAN**
 SCALE: 1/4" = 1'-0"

**ELEVATION 'C'
 ROOF PLAN &
 CALCULATIONS**

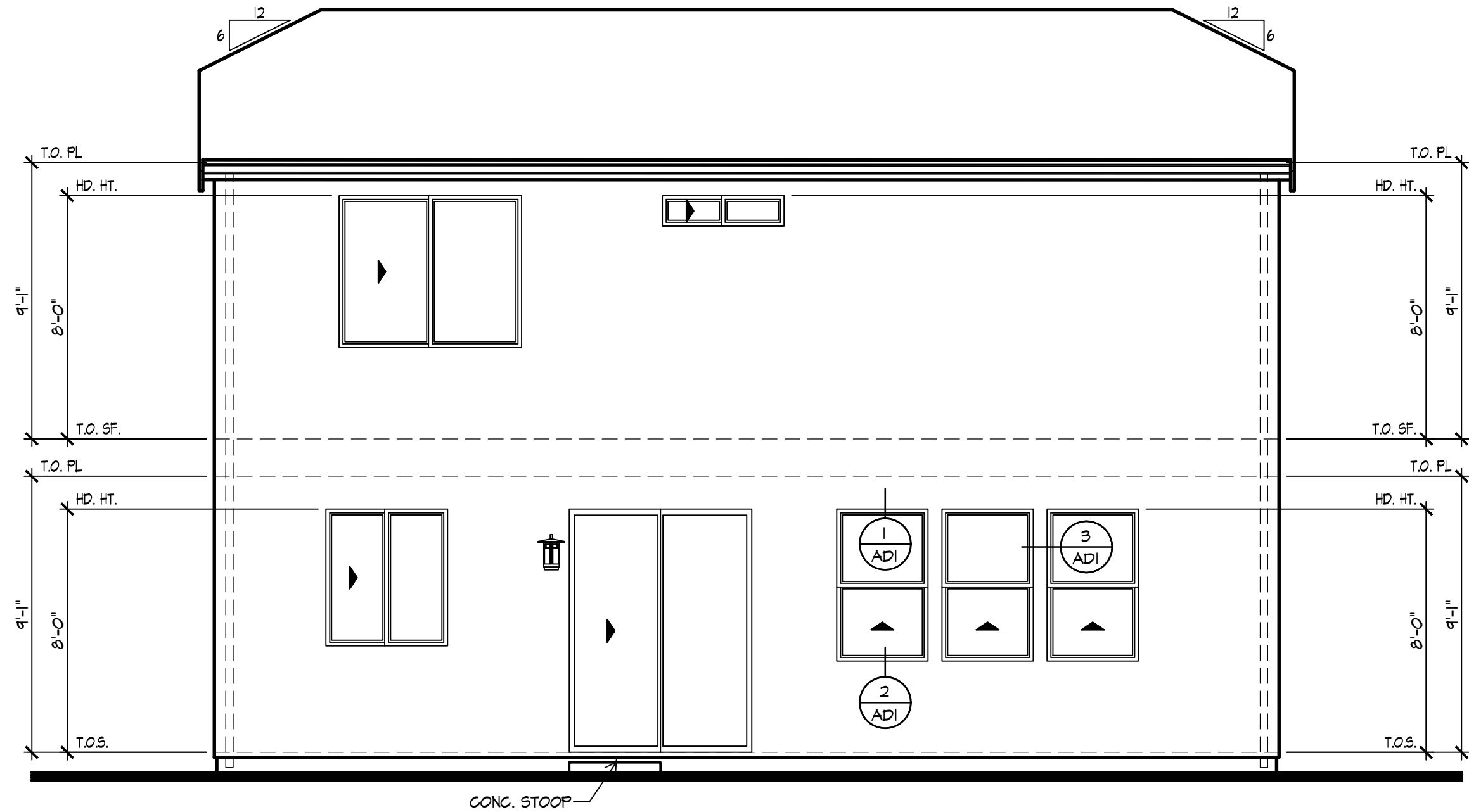
REVISIONS

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310538
PM	LGA, GC, CR1, OL, PSU

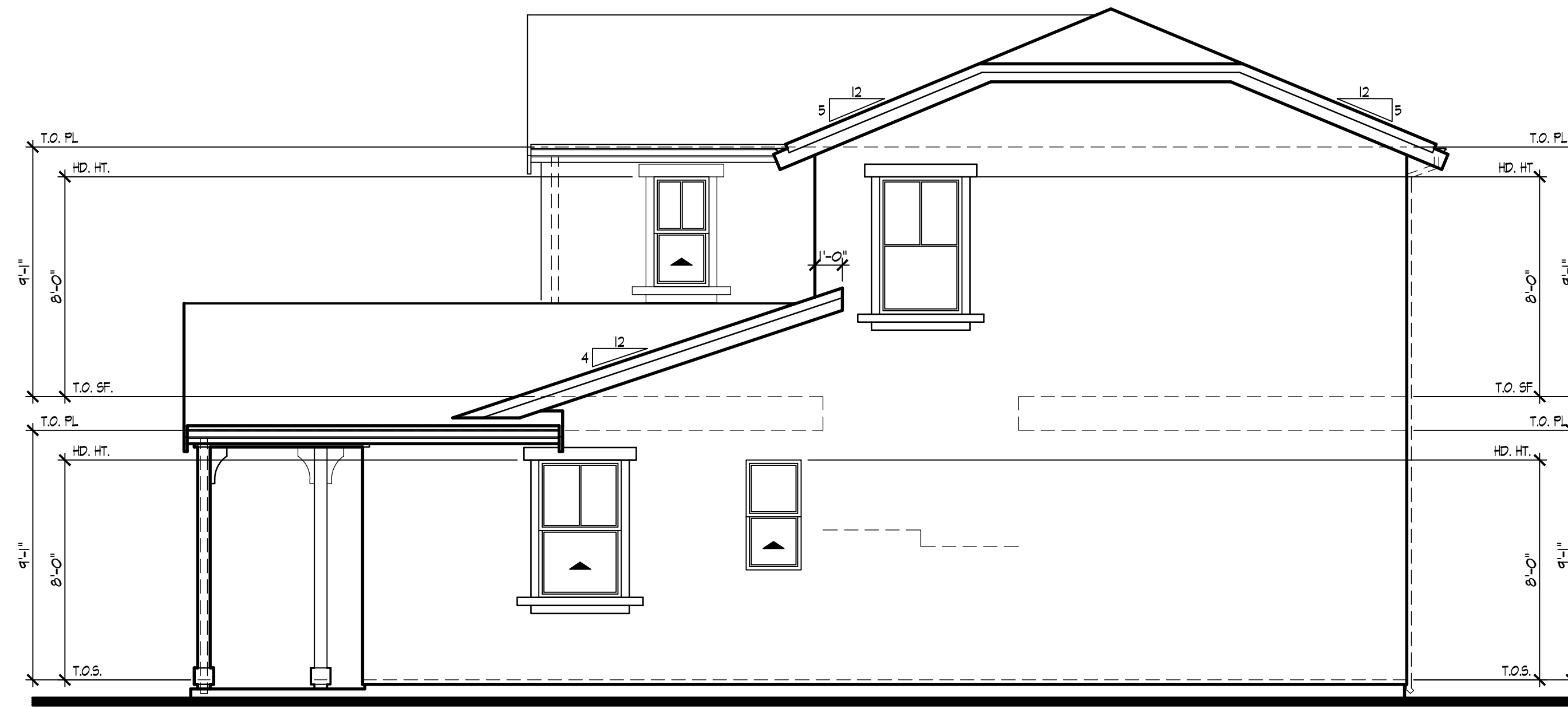
PLAN 1674 - SHEET

1674-4C

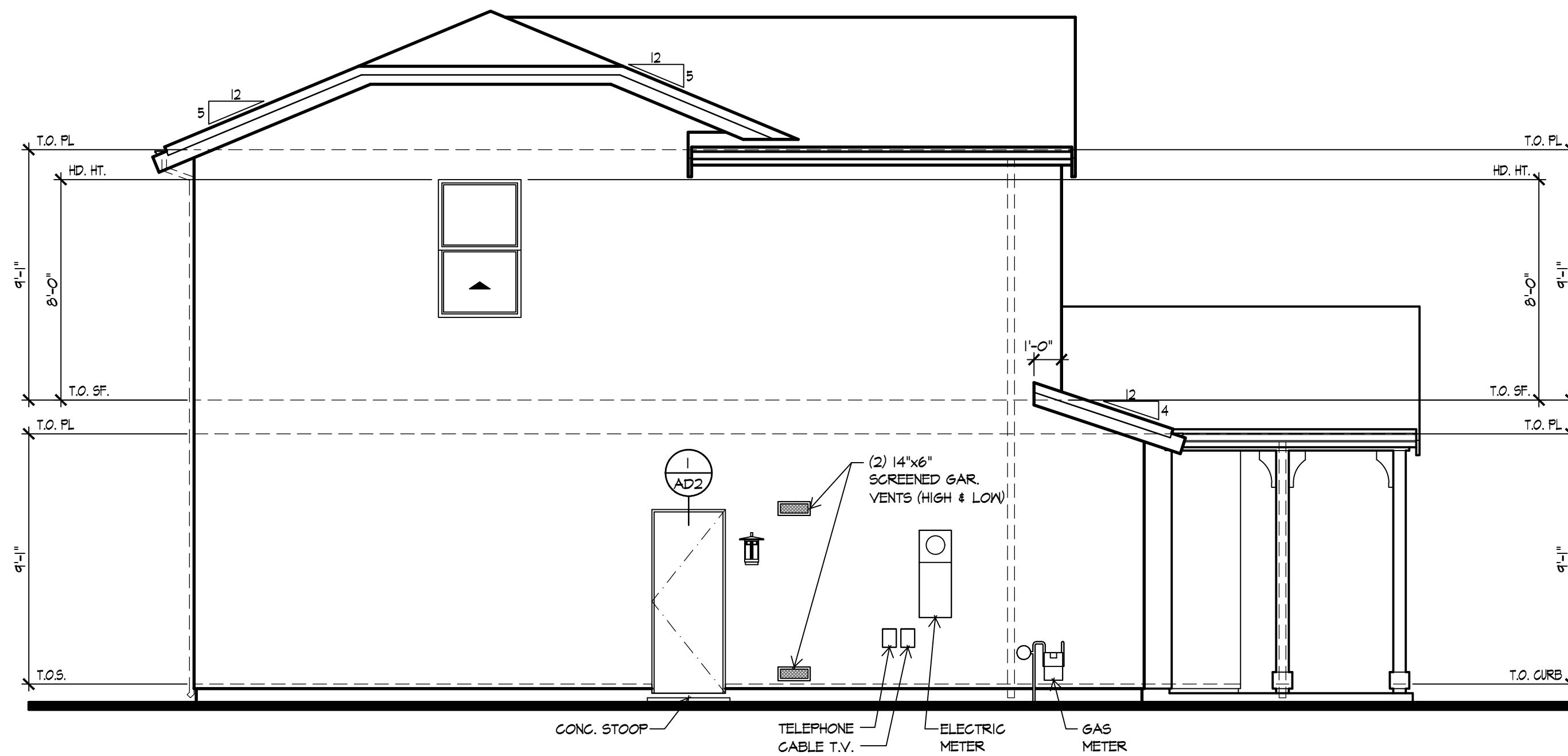
DO NOT SCALE THESE DRAWINGS



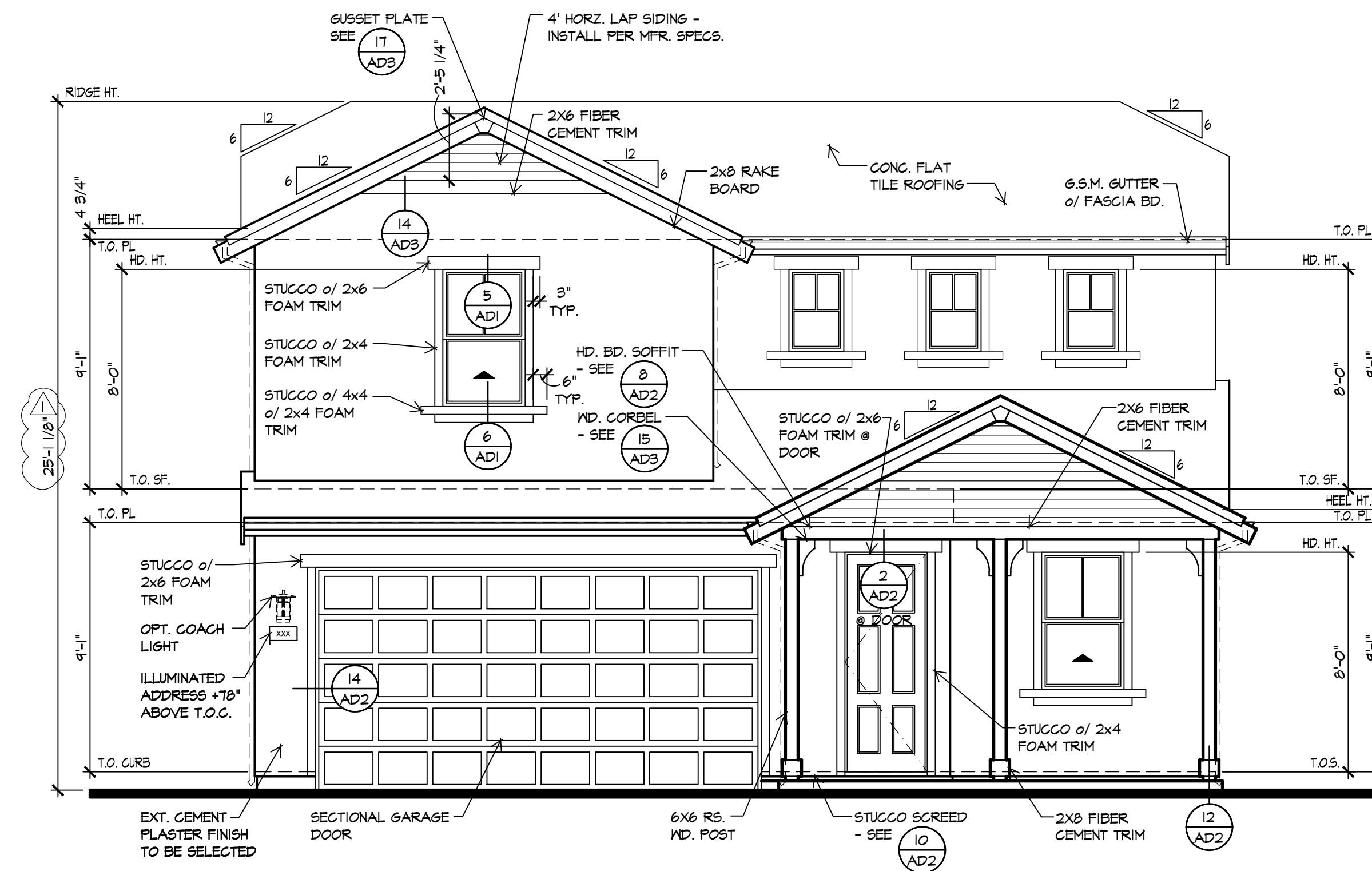
**ELEVATION 'C'
 REAR ELEVATION**
 SCALE: 1/4" = 1'-0"



**ELEVATION 'C'
 RIGHT ELEVATION**
 SCALE: 1/4" = 1'-0"



**ELEVATION 'C'
 LEFT ELEVATION**
 SCALE: 1/4" = 1'-0"



**ELEVATION 'C'
 FRONT ELEVATION**
 SCALE: 1/4" = 1'-0"



**ELEVATION 'C'
 EXTERIOR
 ELEVATIONS**

REVISIONS
 △ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	09/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310530
PM	LGA, GC, CR1, OL, PSU

PLAN 1674 - SHEET

1674-4D



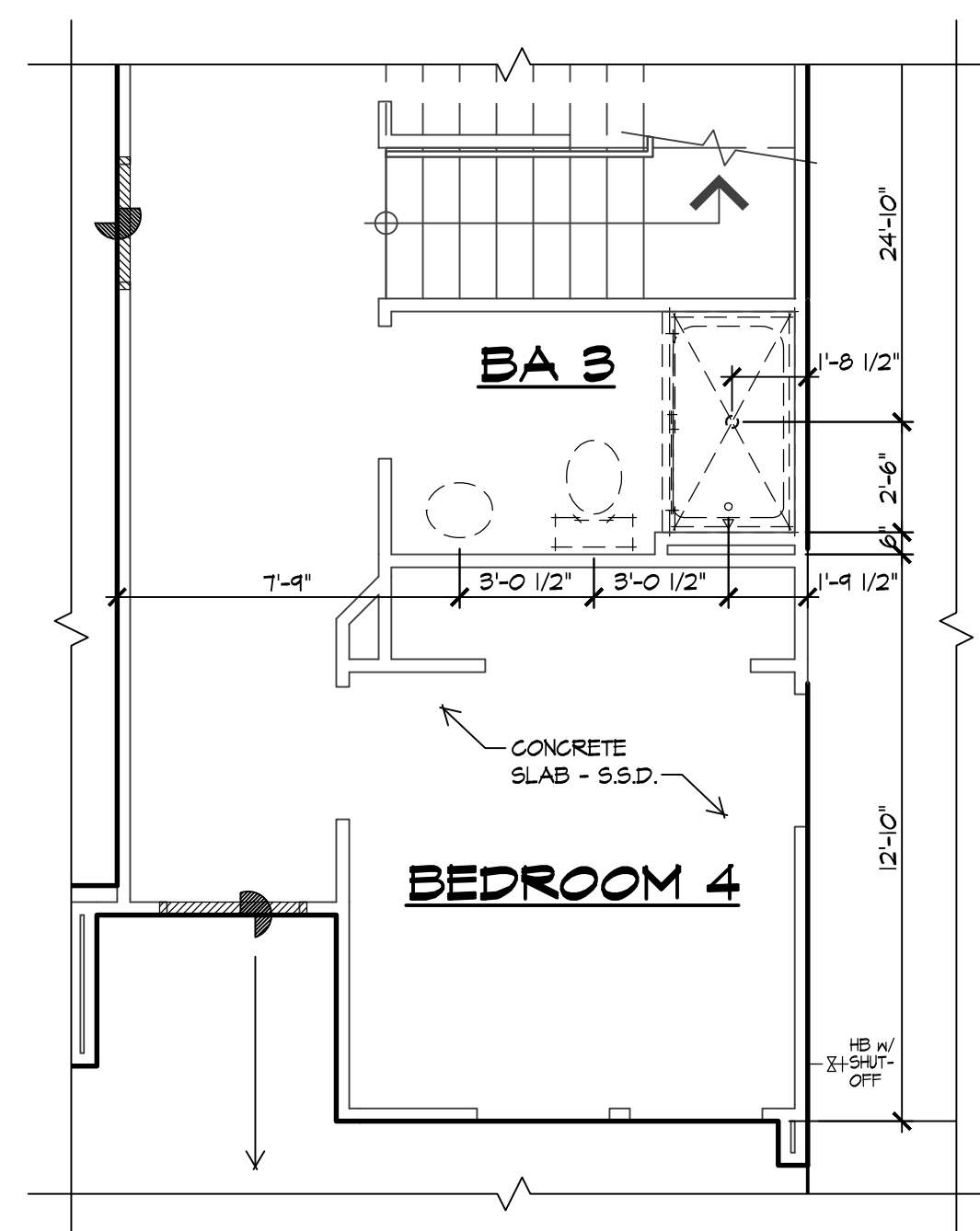
ELEVATION 'A'
 SLAB INTERFACE
 PLAN

REVISIONS

SET DATE	11/06/2023
ISSUE DATE	09/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310530
PM	LGA GC CR1 OL PSU

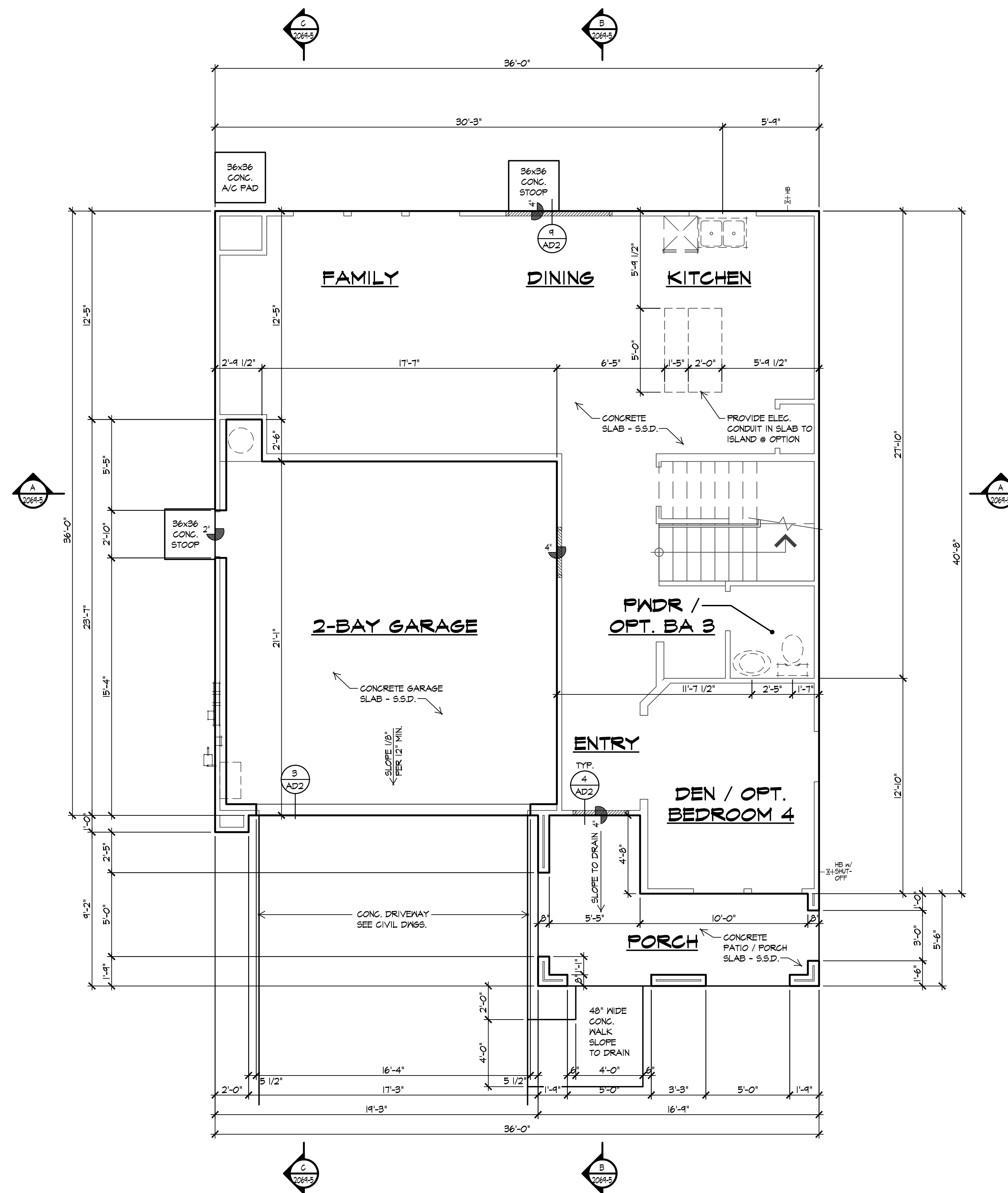
PLAN 2069 - SHEET

2069-1A



**OPT. BEDROOM 4
 & BATH 3 @ DEN**
 SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN
 DOCUMENTED BY THIS DRAWING. FOR ALL
 UNCHANGED NOTES AND DIMENSIONS REFER
 TO SLAB INTERFACE PLAN 'A', SHEET 2069-1A



**ELEVATION 'A'
 SLAB INTERFACE PLAN**
 SCALE: 1/4" = 1'-0"

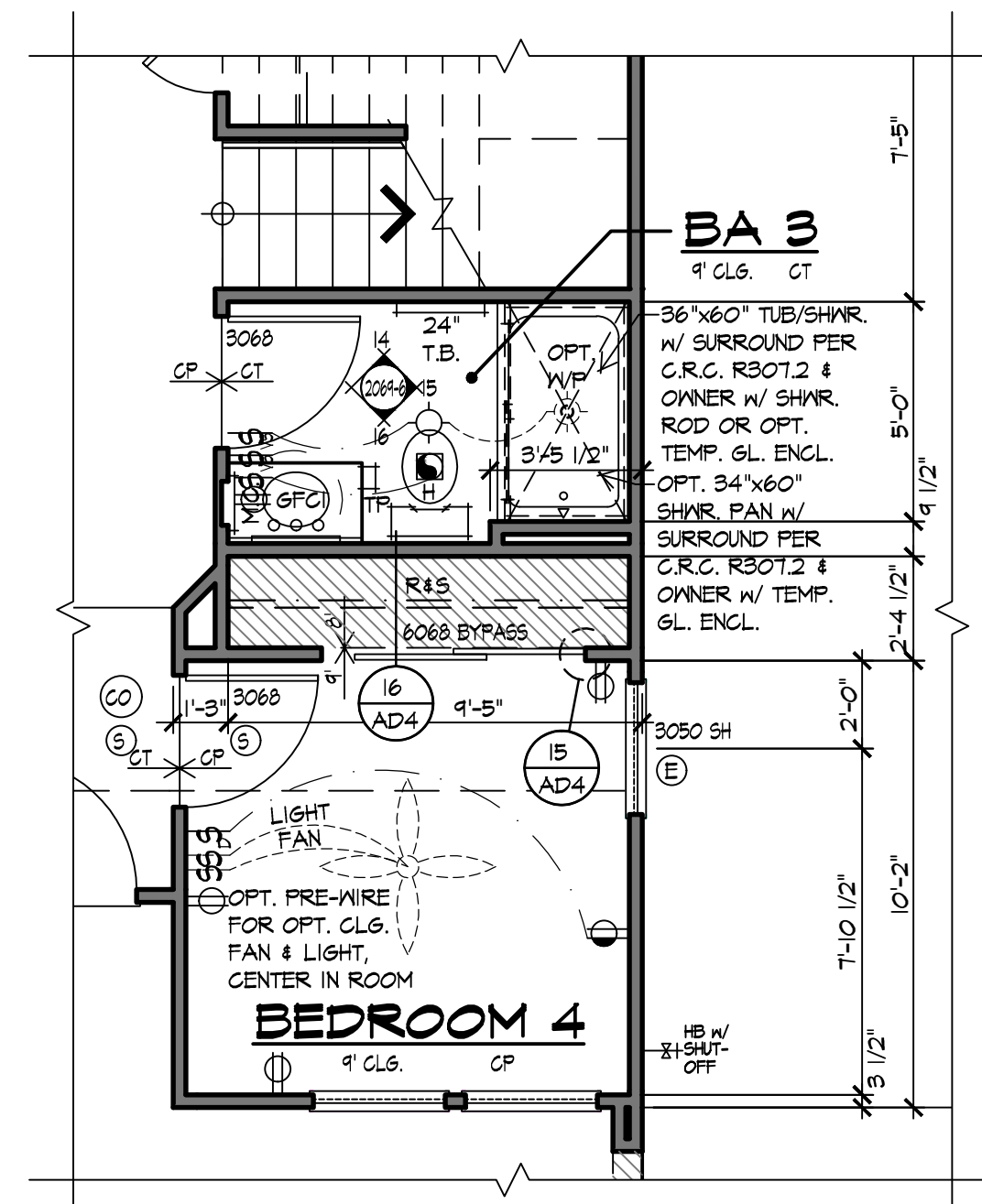
FLR. PLAN GENERAL NOTES

- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILINGS, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.P.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.P.C. SECTION 507.2 & 507.13. SEE SHEET 01 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.P.C. SECTION 602.3 & 602.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.S.D.
- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.B.C. 101.11 & C.R.C. R311.13, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7
- GLAZING NOTES**
- 3050 FX ← OPERATION
HEIGHT (FT-IN) I.e. 5'-0"
WIDTH (FT-IN) I.e. 3'-0"
- OPERATION ABBREVIATIONS
FX = FIXED GS = CASEMENT
SH = SINGLE HUNG AM = AWNING
SL = SLIDER HP = HOPPER
DH = DOUBLE HUNG XOX = XOX SLIDER
- ALL GLAZING IS DUAL PANE INSULATING GLASS.
 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER.
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.
- DOOR NOTES**
- 3050 SC ← OPERATION OR TYPE
HEIGHT (FT-IN) I.e. 8'-0"
WIDTH (FT-IN) I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH PR = PAIR
SSD = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENINGS, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENINGS, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

- WALLS LEGEND**
- 2x4 MD. STUD WALL
 - 2x6 MD. STUD WALL
 - 2x8 MD. STUD WALL
 - 2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
 - SOFFIT OR FURRED CEILING
 - POT SHELF

SQUARE FOOTAGES

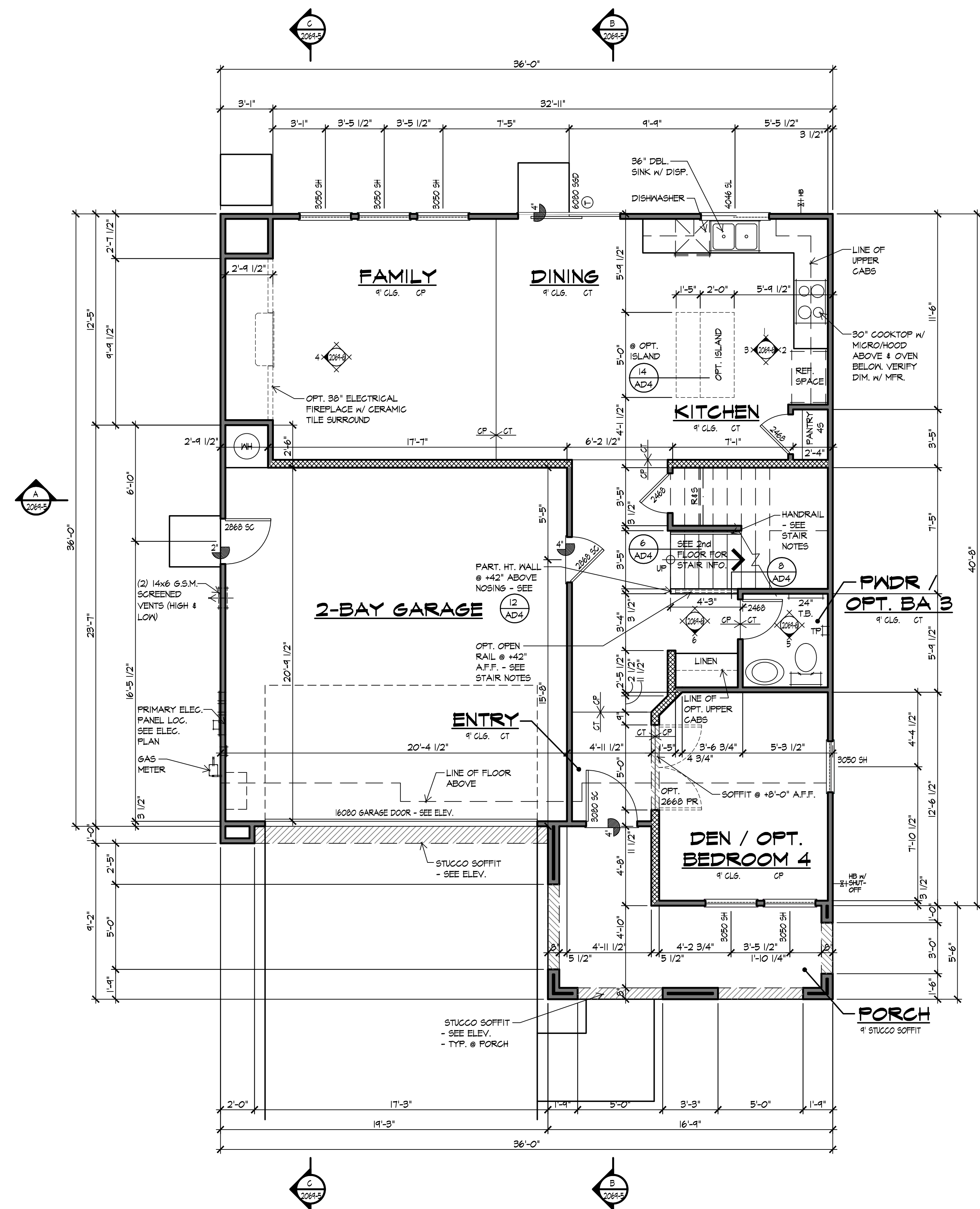
FIRST FLOOR	909 SQ. FT.
SECOND FLOOR	1160 SQ. FT.
TOTAL LIVING	2069 SQ. FT.
2-BAY GARAGE	437 SQ. FT.
PORCH 'A'	121 SQ. FT.
PORCH 'B'	78 SQ. FT.
PORCH 'C'	134 SQ. FT.



OPT. BEDROOM 4 & BATH 3 @ DEN
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO FIRST FLOOR PLAN, SHEET 2064-1B

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLANS, SHEET 2064-7



ELEVATION 'A' FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELEVATION 'A' FIRST FLOOR PLAN

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310538
PM LGA	QC CR1 OL PSU

PLAN 2069 - SHEET 2069-1B

FLR. PLAN GENERAL NOTES

- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
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 - GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILINGS, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.P.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER PER C.P.C. SECTION 507.2 & 507.15. SEE SHEET 61 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.P.C. SECTION 602.3 & 602.5.
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.S.D.

- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.B.C. 1011.1 & C.R.C. R311.2, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7

- GLAZING NOTES**
- 3050 FX ← OPERATION
HEIGHT (FT-IN) 1.e. 5'-0"
WIDTH (FT-IN) 1.e. 3'-0"
- OPERATION ABBREVIATIONS
FX = FIXED GS = CASEMENT
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- ALL GLAZING IS DUAL PANE INSULATING GLASS.
 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER.
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3050 SC ← OPERATION OR TYPE
HEIGHT (FT-IN) 1.e. 8'-0"
WIDTH (FT-IN) 1.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH FR = PAIR
S5D = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

WALLS LEGEND

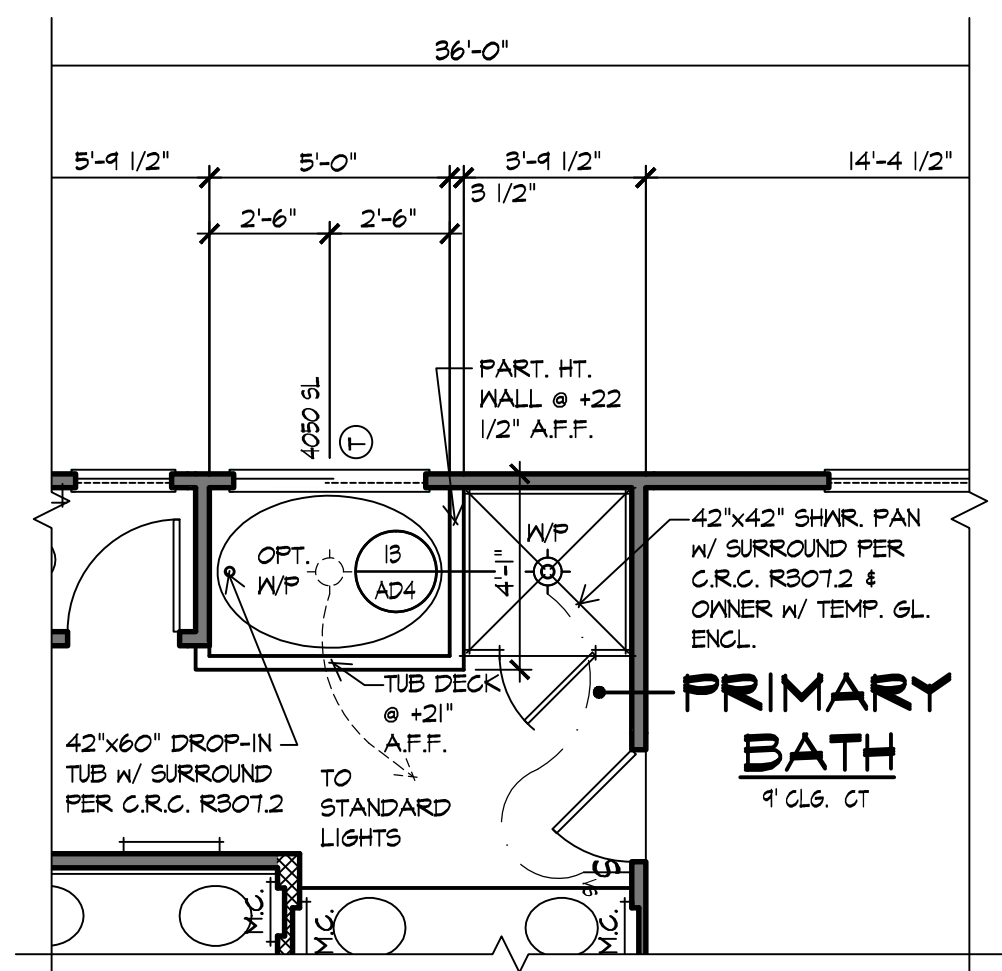
	2x4 MD. STUD WALL
	2x6 MD. STUD WALL
	2x8 MD. STUD WALL
	2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
	SOFFIT OR FURRED CEILING
	POT SHELF

ELEVATION 'A' SECOND FLOOR PLAN

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

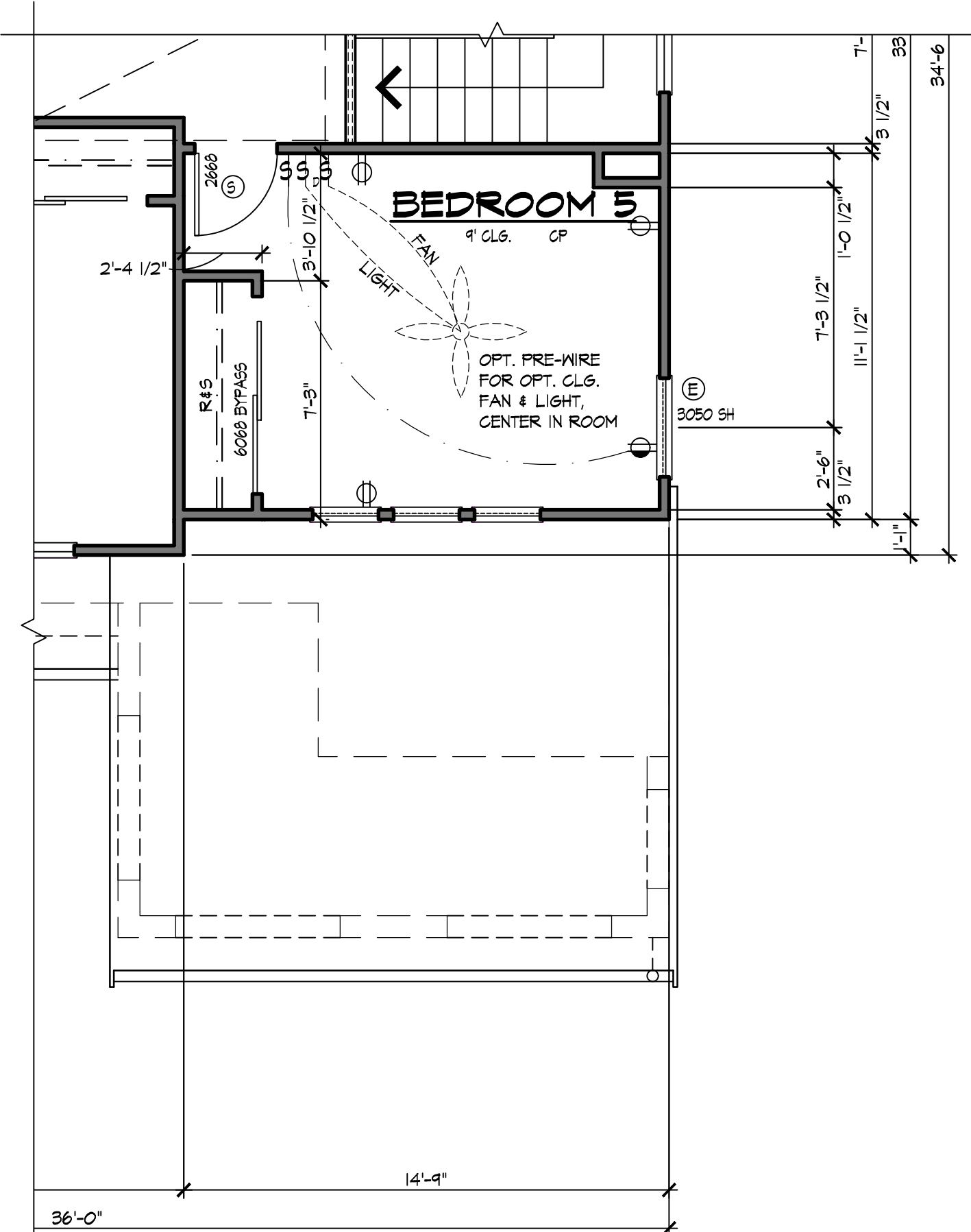
SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA GC CRI OL PSU

**PLAN 2069 - SHEET
2069-1C**



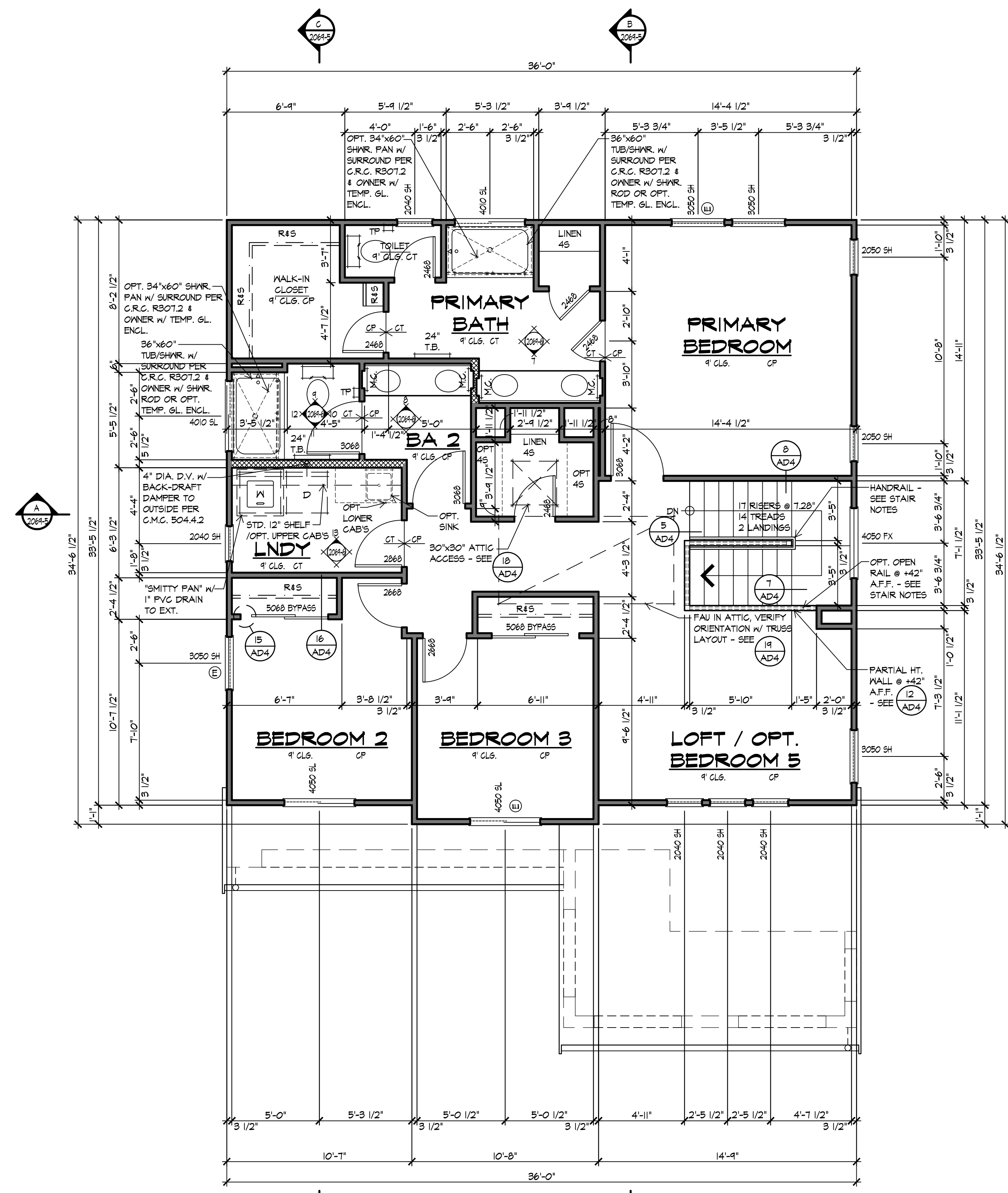
ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 2069-1C

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLANS, SHEET 2069-1



ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 2069-1C

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLANS, SHEET 2069-1



ELEVATION 'A' SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

ATTIC VENTILATION NOTES

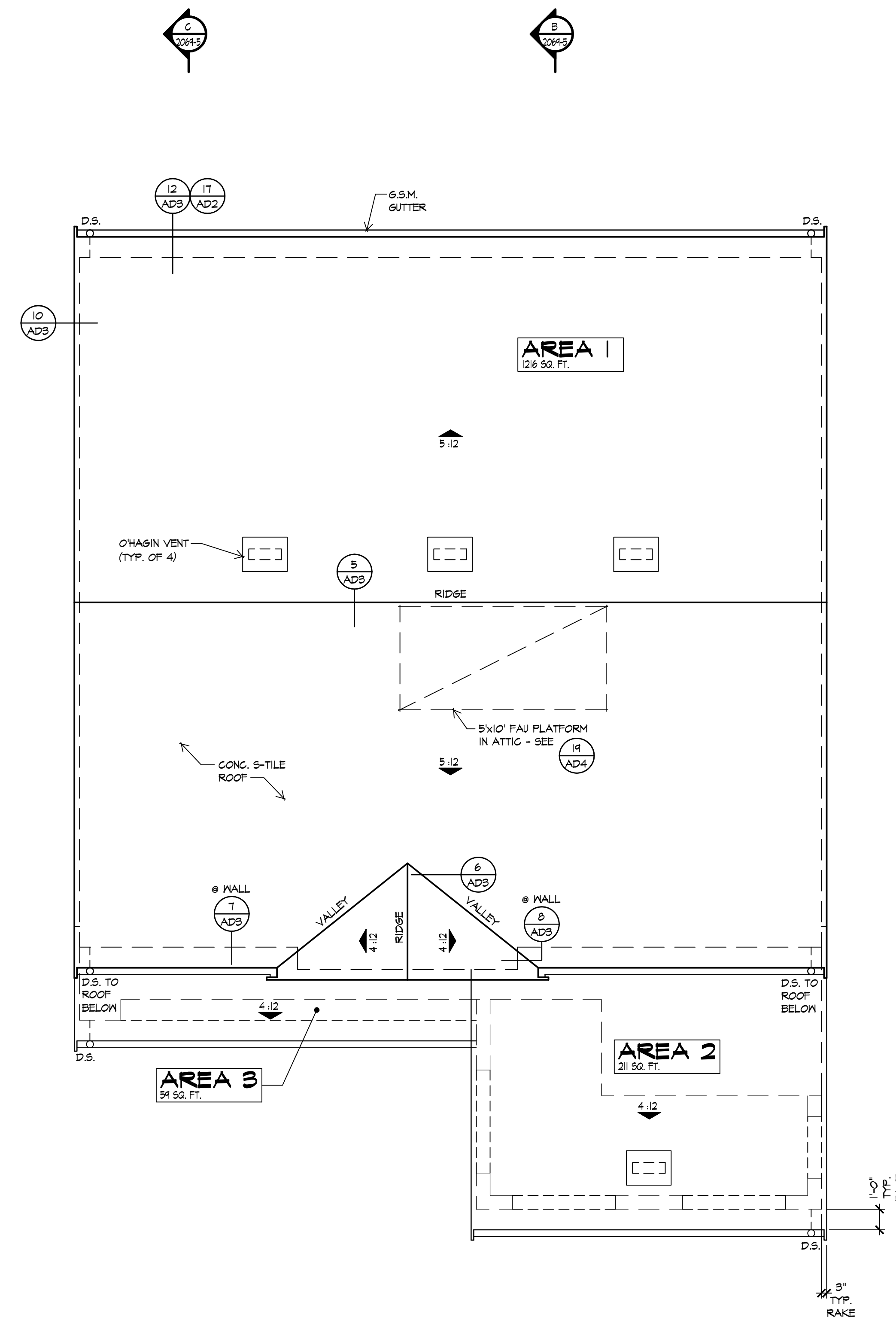
1. PROVIDE ROOF / ATTIC VENTILATION IN COMPLIANCE WITH C.R.C. SECTION R806.
2. PROVIDE VENTILATING OPENINGS FOR EACH SEPARATE SPACE OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES, WHERE CEILINGS OCCUR AT UNDERSIDE OF ROOF FRAMING MEMBERS, WHERE SHOWN OR WHERE NOT SHOWN, TO ACHIEVE FULL CODE COMPLIANT CROSS VENTILATION.
3. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE SHALL BE PERMITTED.
4. PROTECT VENTILATING OPENINGS AGAINST ENTRANCE OF RAIN AND/OR SNOW.
5. BLOCKING, BRIDGING AND INSULATION SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH AIR MOVEMENT.
6. NOT LESS THAN 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
7. PROVIDE CORROSION-RESISTANT WIRE CLOTH SCREENINGS, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS OF 1/8" MINIMUM AND 1/4" MAXIMUM, FOR ALL EXTERIOR OPENING INTO ATTIC SPACE.
8. UPPER VENTILATION:
PROVIDE UPPER VENTILATION WITH GABLE VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN AND CALCULATIONS BELOW.
9. LOWER VENTILATION:
PROVIDE LOWER VENTILATION WITH SCREEN VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN, CALCULATIONS AND NOTES BELOW.
A. SCREEN VENTS: AREA = 24 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 16" o.c., OR 46 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 24" o.c.; (VERIFY NET VENTILATING AREA WITH VENT MFR & RECALCULATE VENTILATION AS REQUIRED FOR COMPLIANCE).
10. VERIFY NET FREE AREA OF VENTS WITH MANUFACTURER SPECIFICATIONS. ANY CHANGE IN SIZE OR NUMBER OF VENTS REQUIRES RECALCULATION OF VENTING PER THE VENT CALCULATIONS ON THIS SHEET.

ATTIC VENTILATION CALCS.

AREA 1 - VENTILATION REQUIRED:
1216 S.F. ATTIC AREA / 300 = 4.05 S.F.
REQUIRED VENTILATION:
4.05 S.F. / 2 = 2.02 S.F. (OR 241 S.I.)
UPPER VENTILATION PROVIDED
(3) OHASIN VENTS @ 4150 S.I. = 2425 S.I.
2425 S.I. PROVIDED > 241 S.I. REQ'D
LOWER VENTILATION PROVIDED (MIN.)
(7) SCREENED VENTS @ 46 S.I. = 322 S.I.
322 S.I. PROVIDED > 241 S.I. REQ'D.

AREA 2 - VENTILATION REQUIRED:
211 S.F. ATTIC AREA / 150 = 1.40 S.F.
REQUIRED VENTILATION:
1.40 S.F. (OR 202 S.I.)
VENTILATION PROVIDED (MIN.)
(1) OHASIN VENT @ 4150 S.I. +
(3) SCREENED VENTS @ 46 S.I. = 2355 S.I.
2355 S.I. PROVIDED > 202 S.I. REQ'D.

AREA 3 - VENTILATION REQUIRED:
54 S.F. ATTIC AREA / 150 = 0.34 S.F.
REQUIRED VENTILATION:
0.34 S.F. (OR 51 S.I.)
VENTILATION PROVIDED (MIN.)
(2) SCREENED VENTS @ 46 S.I. = 92 S.I.
92 S.I. PROVIDED > 51 S.I. REQ'D.



ELEVATION 'A' ROOF PLAN
SCALE: 1/4" = 1'-0"

**ELEVATION 'A'
ROOF PLAN &
CALCULATIONS**

REVISIONS

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA, QC, CRI, OL, PSU

PLAN 2069 - SHEET

2069-1D

DO NOT SCALE THESE DRAWINGS



REVISIONS

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA, QC, CRI, OL, PSU

PLAN 2069 - SHEET

2069-1D

DO NOT SCALE THESE DRAWINGS



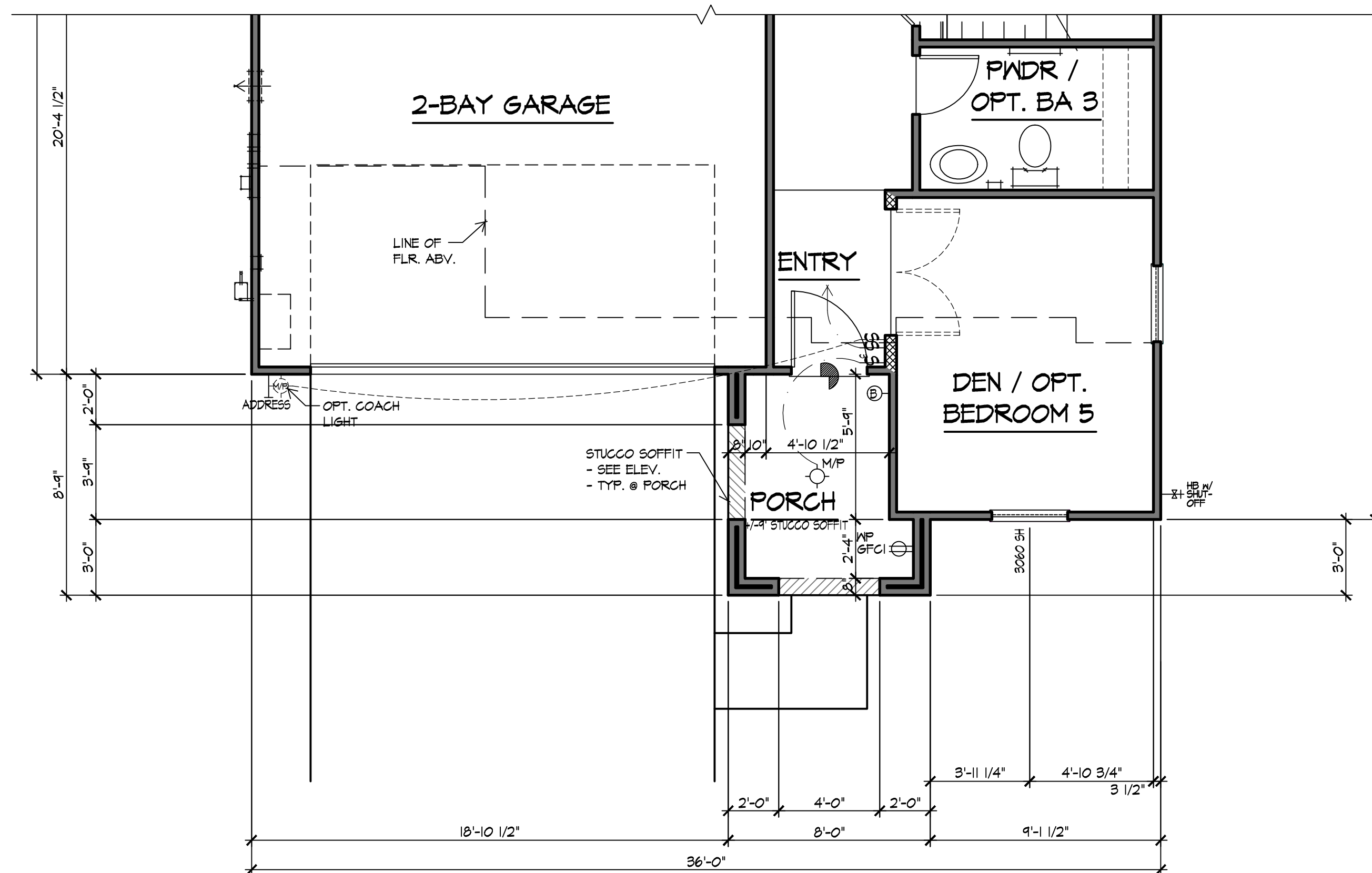
3361 Walnut Blvd. Suite 120
Brentwood, CA 94513
925.634.7000
sdgarchitectsinc.com

EVERGLEN
HOLLISTER, CA



FLR. PLAN GENERAL NOTES

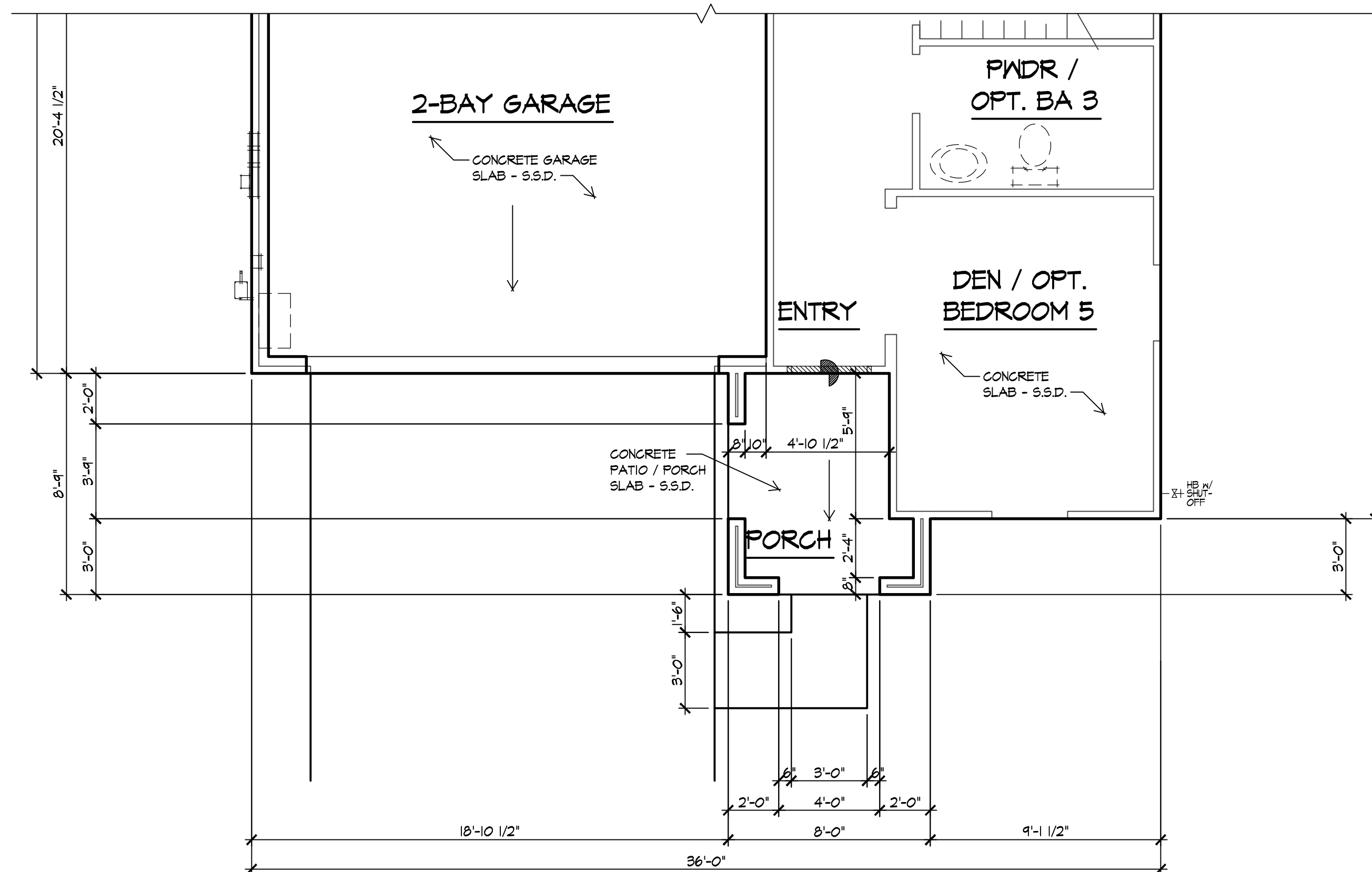
- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS ABOVE BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILING, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 01 & 20/AD-4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 608.3 & 608.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - 5.5.D.
- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.F.C. 1011.1 & C.R.C. R311.13, SEE 3/AD-4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD-4
 - ALL WALLS AND SOFFITS OF ENCLOSED USABLE SPACE UNDER INTERIOR STAIRWAYS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH A MINIMUM OF 1/2" GYPSUM BOARD PER C.R.C. R302.7
- GLAZING NOTES**
- 3030 FX ← OPERATION
 HEIGHT (FT-IN") I.e. 5'-0"
 WIDTH (FT-IN") I.e. 3'-0"
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 - WINDOWS MARKED WITH A (E) SHALL BE VERIFIED TO MEET EGRESS BY THE MANUFACTURER
 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.
- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
 HEIGHT (FT-IN") I.e. 8'-0"
 WIDTH (FT-IN") I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
 SC = SOLID CORE HM = HOLLOW METAL
 FR = FRENCH PR = PAIR
 S5D = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.



**ELEVATION 'B'
PARTIAL FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO FIRST FLOOR PLAN, SHEET 1910-1B

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLANS, SHEET 1910-T



**ELEVATION 'B'
PARTIAL SLAB INTERFACE PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES AND DIMENSIONS REFER TO SLAB INTERFACE PLAN, SHEET 1910-1A

WALLS LEGEND

- 2x4 MD. STUD WALL
- 2x6 MD. STUD WALL
- 2x8 MD. STUD WALL
- 2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
- SOFFIT OR FURRED CEILING
- POT SHELF

**ELEVATION 'B'
PARTIAL SLAB
INTERFACE &
FIRST FLOOR PLAN**

REVISIONS
 △ PLAN CHECK COMMENTS: 11/06/2023



SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310.538
PM	LGA GC CRI OL PSU

PLAN 1910 - SHEET
1910-3A

DO NOT SCALE THESE DRAWINGS



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ELEVATION 'B'
PARTIAL SECOND
FLOOR PLAN

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE 11/06/2023
ISSUE DATE 08/04/2023
SCALE AS NOTED
DRAWN CRI, ADE, PSU
JOB 310530
PM LGA GC CRI OL PSU

PLAN 1910 - SHEET

1910-3B

FLR. PLAN GENERAL NOTES

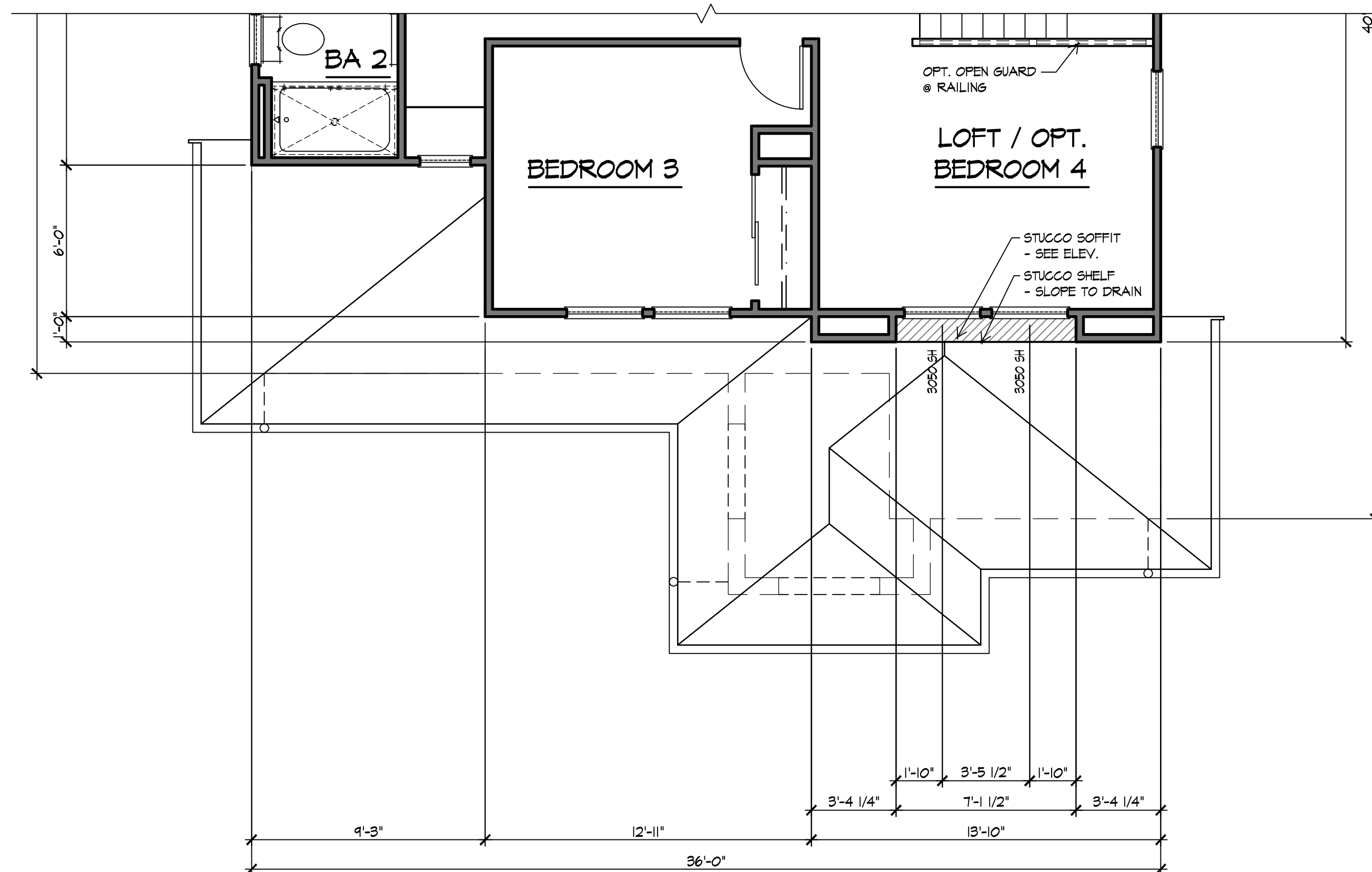
- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
 - DUCTS IN A PRIVATE GARAGE AND DUCTS PENETRATING THE SEPARATION WALLS OR CEILING, SHALL BE 0.019-INCH SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 01 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 608.3 & 608.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.S.D.

- STAIR NOTES**
- RISER HEIGHT = SEE PLAN FOR HT. & NO. OF RISERS
TREAD DEPTH = 10" - SEE PLAN FOR NO. OF TREADS
 - HANDRAIL AT WALL @ +36" ABOVE TREAD NOSING PER C.B.C. 101.11 & C.R.C. R311.13, SEE 3/AD4
 - HANDRAIL / GUARD AT OPEN SIDE @ +36" ABOVE TREAD NOSING, GUARD AT OPEN SIDE @ +42" A.F.F. PER C.R.C. R312, SEE 2/AD4
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- GLAZING NOTES**
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HEIGHT (FT-IN') I.e. 5'-0"
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1st FLOOR = 8'-0" U.O.N.
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- 3030 SC ← OPERATION OR TYPE
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- 2x4 MD. STUD WALL
 - 2x6 MD. STUD WALL
 - 2x8 MD. STUD WALL
 - 2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
 - SOFFIT OR FURRED CEILING
 - POT SHELF



**ELEVATION 'B'
PARTIAL SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 1910-1C

DO NOT SCALE THESE DRAWINGS

V:\13103B - Everglades Hollister\1910-3B ELEVATION 'B' PARTIAL SECOND FLOOR PLAN.dwg, 10/31/2023 11:46:15 AM, P54/61



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 HOLLISTER, CA



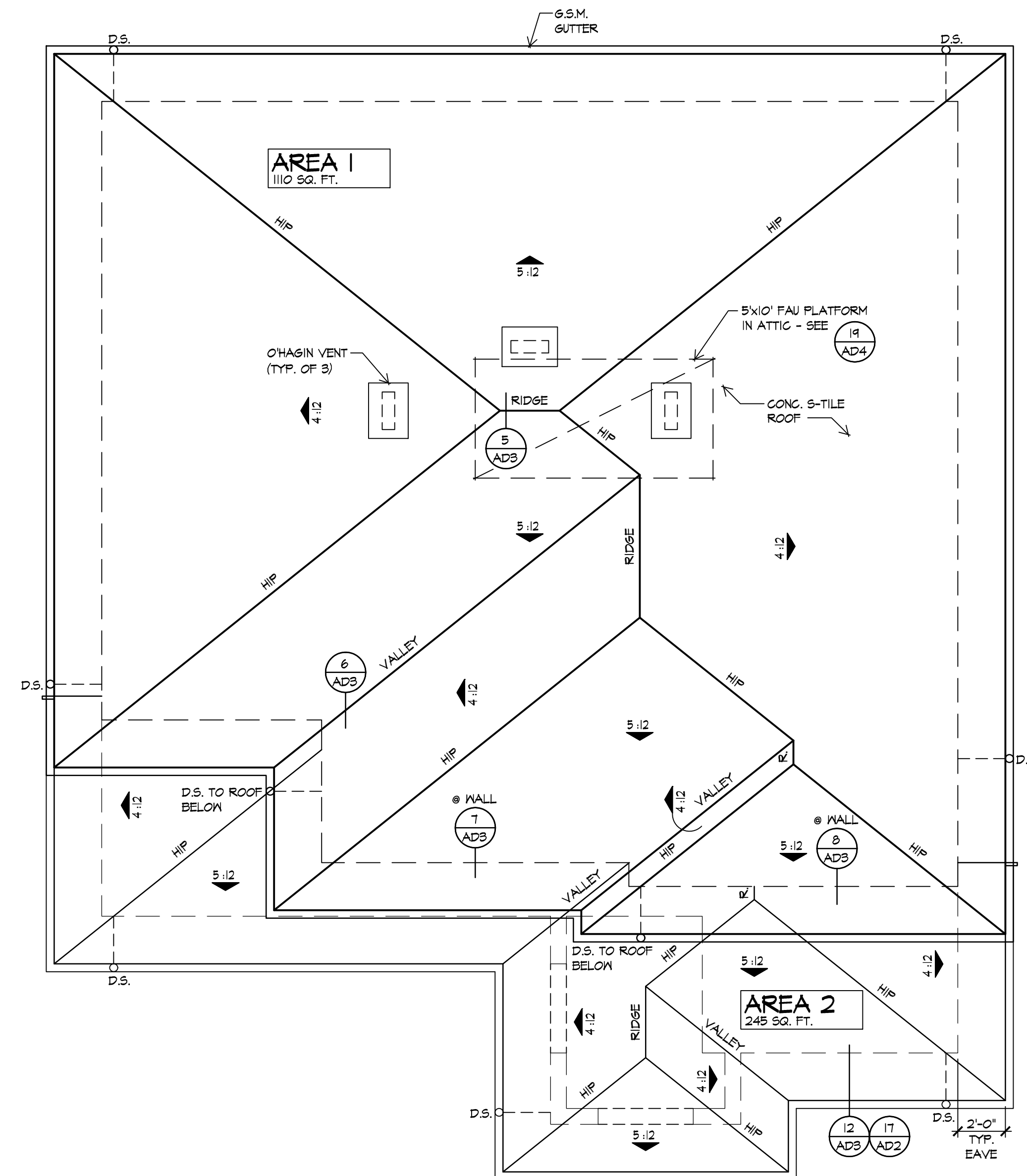
ATTIC VENTILATION NOTES

1. PROVIDE ROOF / ATTIC VENTILATION IN COMPLIANCE WITH C.R.C. SECTION R806.
 2. PROVIDE VENTILATING OPENINGS FOR EACH SEPARATE SPACE OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES, WHERE CEILINGS OCCUR AT UNDERSIDE OF ROOF FRAMING MEMBERS, WHERE SHOWN OR WHERE NOT SHOWN, TO ACHIEVE FULL CODE COMPLIANT CROSS VENTILATION.
 3. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE SHALL BE PERMITTED.
 4. PROTECT VENTILATING OPENINGS AGAINST ENTRANCE OF RAIN AND/OR SNOW.
 5. BLOCKING, BRIDGING AND INSULATION SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH AIR MOVEMENT.
 6. NOT LESS THAN 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 7. PROVIDE CORROSION-RESISTANT WIRE CLOTH SCREENINGS, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS OF 1/8" MINIMUM AND 1/4" MAXIMUM, FOR ALL EXTERIOR OPENING INTO ATTIC SPACE.
 8. UPPER VENTILATION:
 PROVIDE UPPER VENTILATION WITH GABLE VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN AND CALCULATIONS BELOW.
 9. LOWER VENTILATION:
 PROVIDE LOWER VENTILATION WITH SCREEN VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN, CALCULATIONS AND NOTES BELOW.
 A. SCREEN VENTS: AREA = 24 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 16" o.c., OR 46 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 24" o.c.; (VERIFY NET VENTILATING AREA WITH VENT MFR & RECALCULATE VENTILATION AS REQUIRED FOR COMPLIANCE).
- NOTE:
 RECALCULATE VENTILATION REQUIREMENTS FOR COMPLIANCE IF RAFTER / TRUSS BLOCKS ARE USED IN PLACE OF SCREEN VENTS. RAFTER / TRUSS BLOCKS: (3) 2" DIA. HOLES. AREA = 1.42 SQ. IN. PER BLOCK. SEE STRUCTURAL DRAWINGS FOR RESTRICTIONS DUE TO SHEAR WALL REQUIREMENTS, IF ANY.
10. VERIFY NET FREE AREA OF VENTS WITH MANUFACTURER SPECIFICATIONS. ANY CHANGE IN SIZE OR NUMBER OF VENTS REQUIRES RECALCULATION OF VENTING PER THE VENT CALCULATIONS ON THIS SHEET.

ATTIC VENT CALCS.

AREA 1 - VENTILATION REQUIRED:
 1110 S.F. ATTIC AREA / 300 = 3.70 S.F.
 REQUIRED VENTILATION:
 3.70 S.F. / 2 = 1.85 S.F. (OR 266 S.I.)
 UPPER VENTILATION PROVIDED
 (3) OHASIN VENTS @ 47.50 S.I. = 242.50 S.I.
 242.50 S.I. PROVIDED > 266 S.I. REQ'D
 LOWER VENTILATION PROVIDED (MIN.)
 (6) SCREENED VENTS @ 46 S.I. = 276 S.I.
 276 S.I. PROVIDED > 266 S.I. REQ'D.

AREA 2 - VENTILATION REQUIRED:
 245 S.F. ATTIC AREA / 150 = 1.63 S.F.
 REQUIRED VENTILATION:
 1.63 S.F. (OR 235 S.I.)
 VENTILATION PROVIDED (MIN.)
 (6) SCREENED VENTS @ 46 S.I. = 276 S.I.
 276 S.I. PROVIDED > 235 S.I. REQ'D.



**ELEVATION 'B'
 ROOF PLAN**
 SCALE: 1/4" = 1'-0"

**ELEVATION 'B'
 ROOF PLAN &
 CALCULATIONS**

REVISIONS

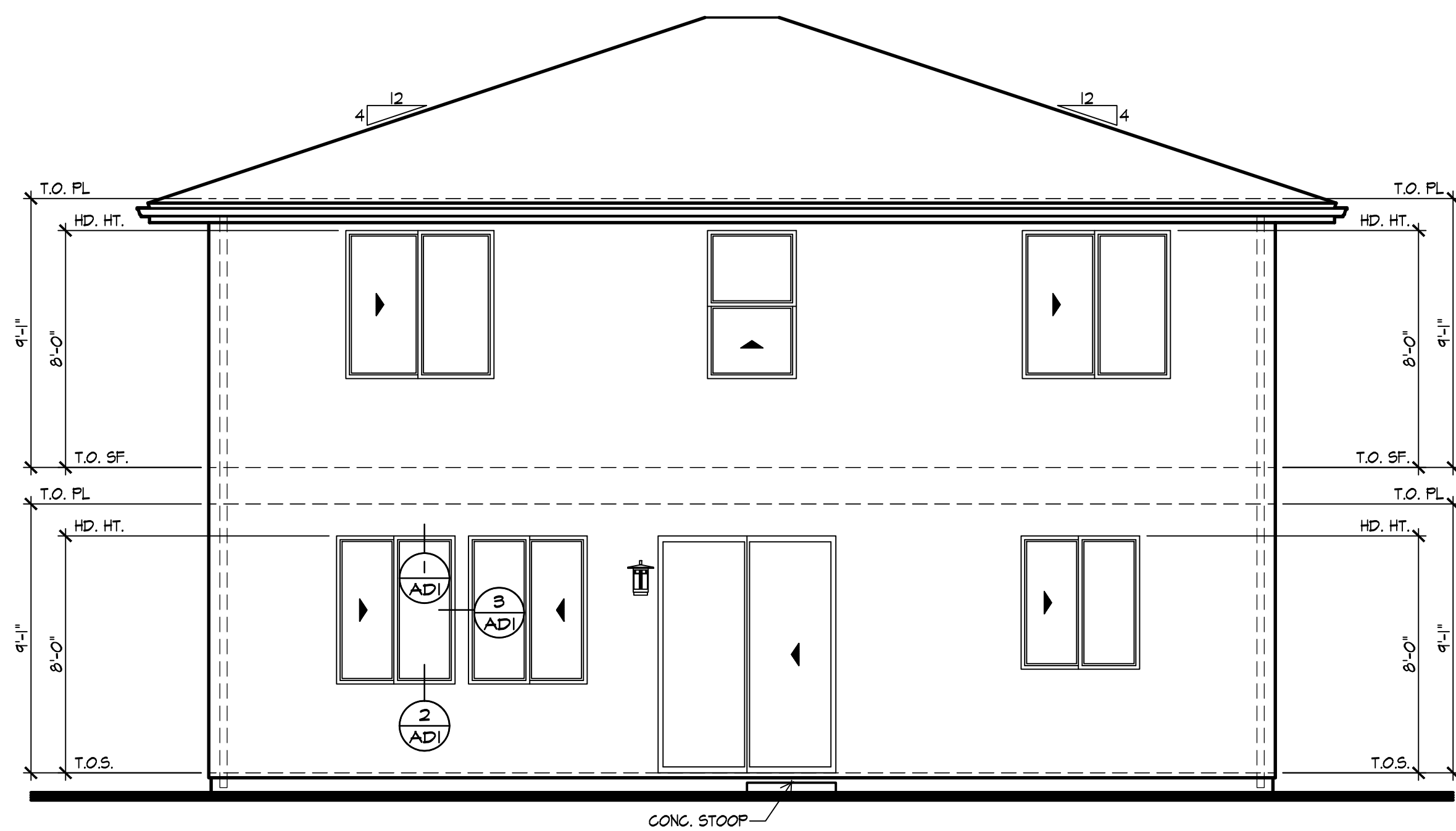
SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310538
PM	LGA, GC, CR1, OL, PSU

PLAN 1910 - SHEET

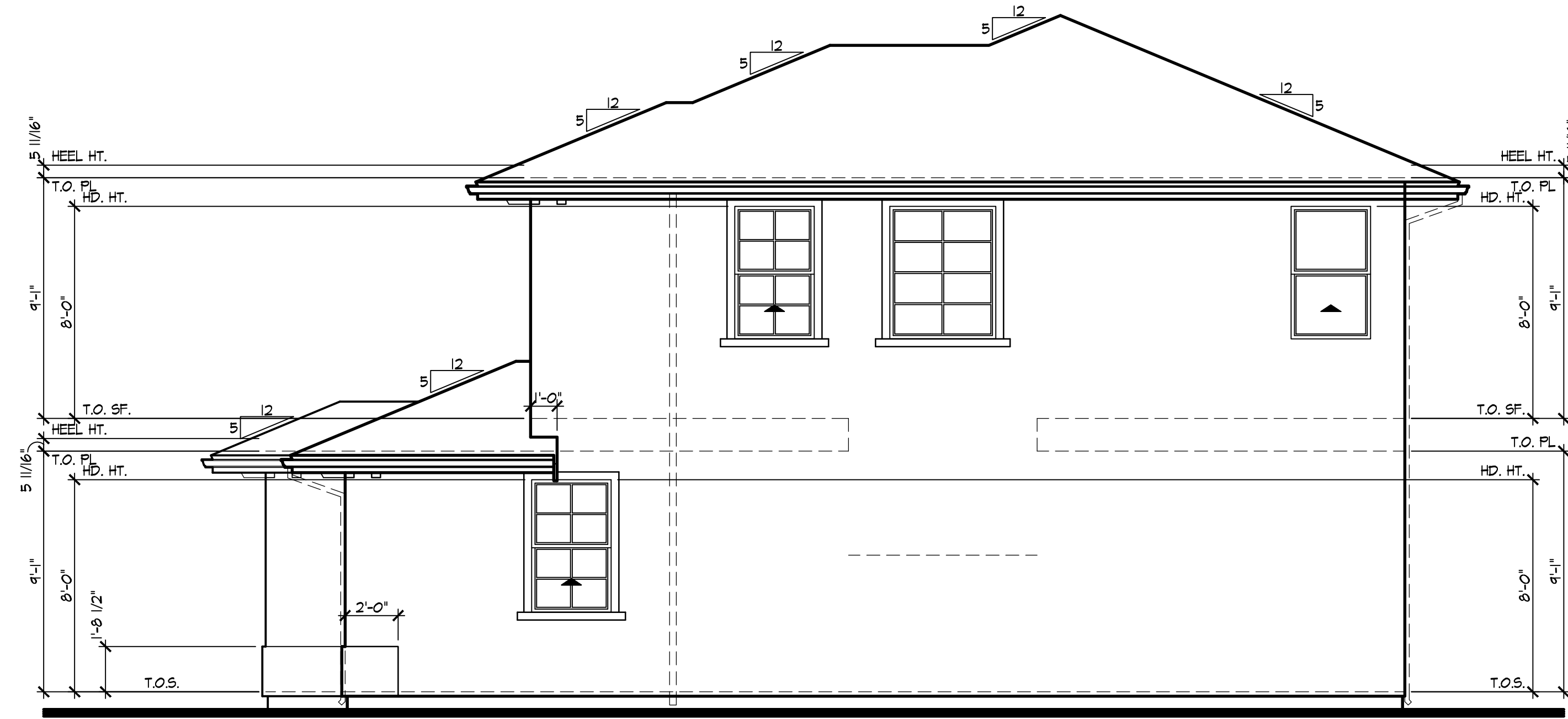
1910-3C

DO NOT SCALE THESE DRAWINGS

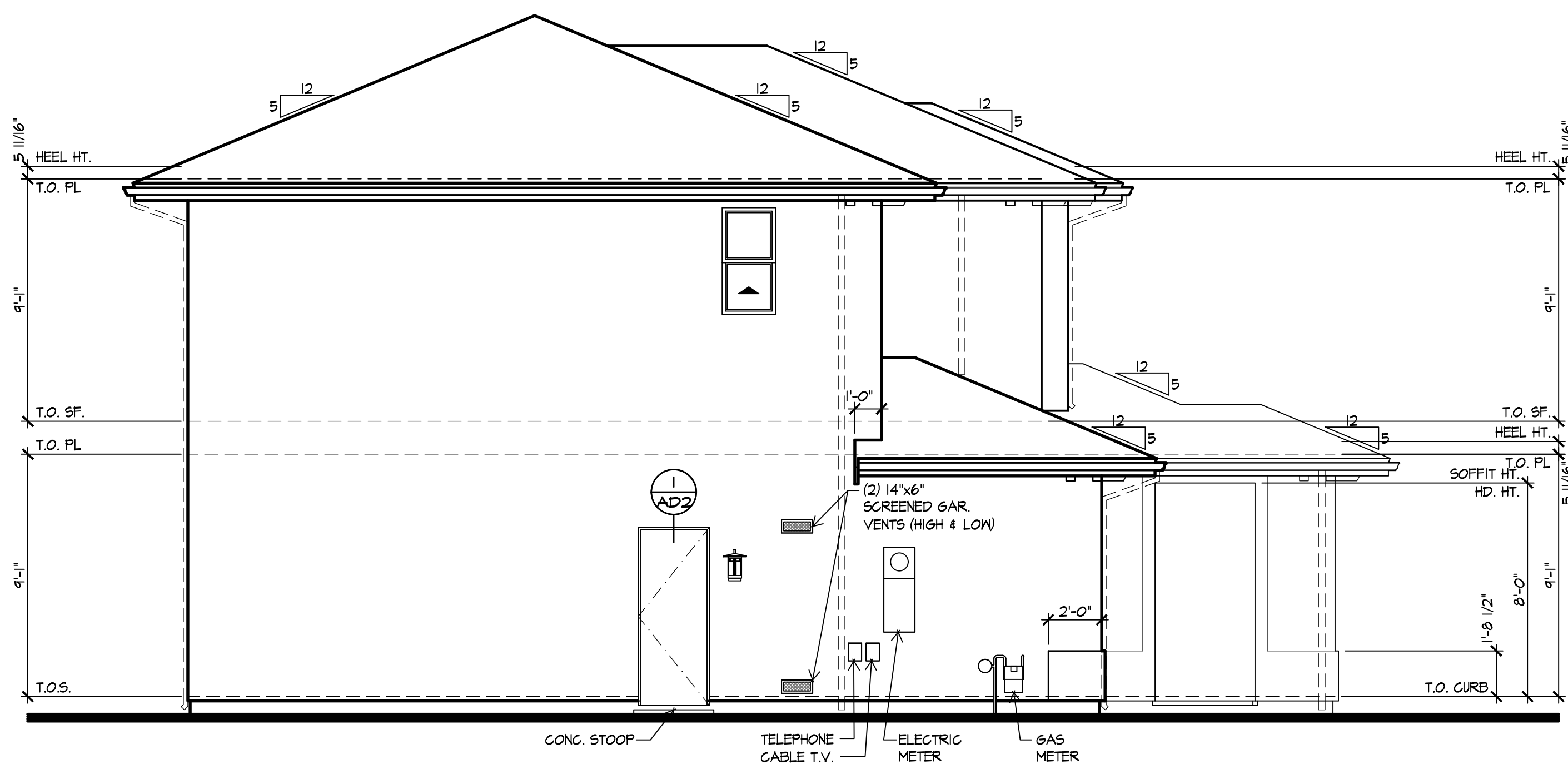




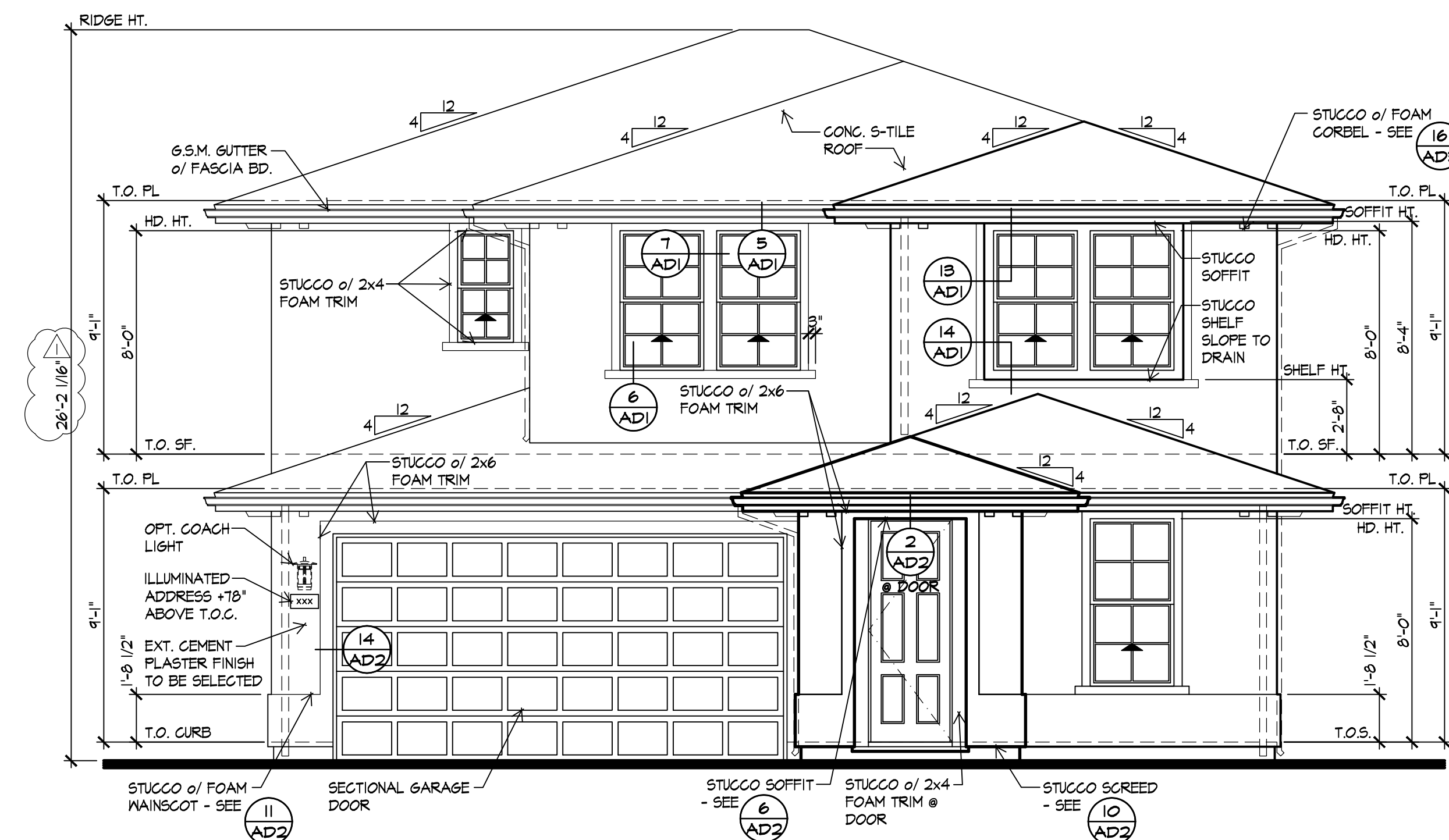
**ELEVATION 'B'
REAR ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION 'B'
RIGHT ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION 'B'
LEFT ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION 'B'
FRONT ELEVATION**
SCALE: 1/4" = 1'-0"



**ELEVATION 'B'
EXTERIOR
ELEVATIONS**

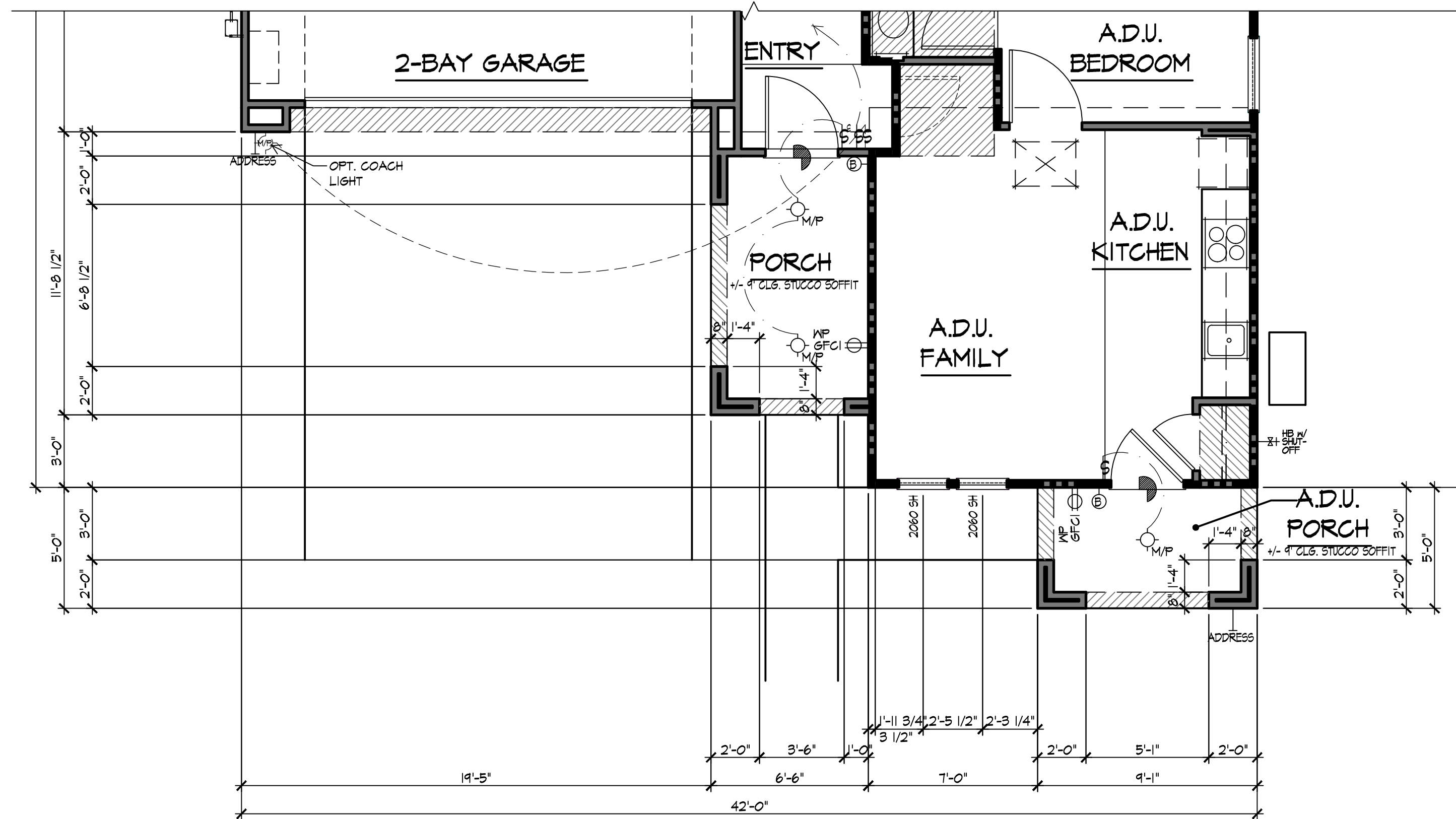
REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	09/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310530
PM	LGA, QC, CR1, OL, PSU

PLAN 1910 - SHEET

1910-3D

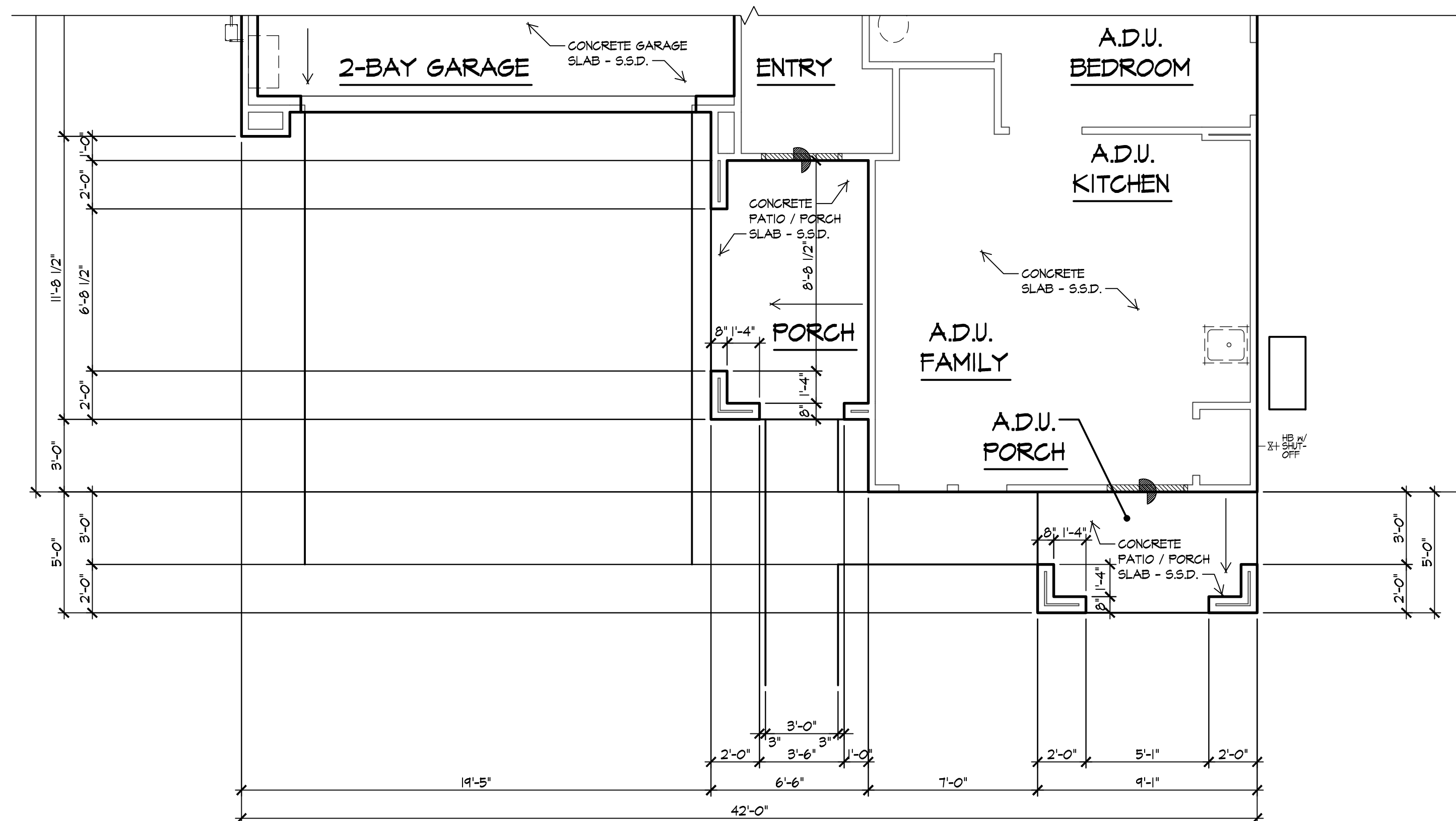
DO NOT SCALE THESE DRAWINGS



**ELEVATION 'B'
PARTIAL FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO FIRST FLOOR PLAN, SHEET 2862-1B

ANY CHANGES TO THIS ELECTRICAL PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED ELECTRICAL FIXTURES REFER TO ELECTRICAL PLAN, SHEET 2862-7



**ELEVATION 'B'
PARTIAL SLAB INTERFACE PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES AND DIMENSIONS REFER TO SLAB INTERFACE PLAN, SHEET 2862-1A

FLR. PLAN GENERAL NOTES

- GARAGE NOTES**
- GARAGE SEPARATION SHALL BE PER C.R.C. R302.6, AS FOLLOWS:
 - THE PRIVATE GARAGE SHALL BE SEPARATED FROM R-2 & R-3 OCCUPANCY DWELLING UNITS AND ITS ATTIC AREA BY A MINIMUM OF 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
 - GARAGES BENEATH HABITABLE ROOMS ABOVE BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY A MINIMUM OF 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT AND 1/2" GYPSUM BOARD APPLIED TO STRUCTURES SUPPORTING THE SEPARATION FROM HABITABLE ROOMS ABOVE THE GARAGE.
 - OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8" THICK, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS, SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING AND DEVICE.
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 - WATER HEATER
 - PROVIDE COMBUSTION AIR FOR WATER HEATER PER C.F.C. SECTION 506.
 - PROVIDE 18" HIGH WOOD FRAMED PLATFORM & SEISMIC BRACING FOR WATER HEATER, PER C.F.C. SECTION 507.2 & 507.13. SEE SHEET 61 & 20/AD4 FOR INSTALLATION.
 - PROVIDE COMBINATION TEMPERATURE & PRESSURE RELIEF VALVE & A DRAIN OF GALVANIZED STEEL OR HARD-DRAWN COPPER TO THE OUTSIDE OF THE BLDG. W/ END OF PIPE NOT MORE THAN 2' OR LESS THAN 6" ABOVE GRADE, POINTING DOWNWARD, TERMINAL END BEING UNTHREADED AS PER C.F.C. SECTION 602.3 & 602.5
 - PROVIDE PIPE BOLLARD PER PLAN PER C.M.C. SECTION 505.1 - S.S.D.
- STAIR NOTES**
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HOLLISTER, CA



**ELEVATION 'B'
PARTIAL SLAB
INTERFACE &
FIRST FLOOR PLAN**

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
JOB	310530
PM	LGA, GC, CR1, OL, PSU

**PLAN 2862 - SHEET
2862-3A**

DO NOT SCALE THESE DRAWINGS



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ELEVATION 'B'
PARTIAL SECOND
FLOOR PLAN

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

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ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CR1, ADE, PSU
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PM	LGA GC CR1 OL PSU

PLAN 2862 - SHEET
2862-3B

FLR. PLAN GENERAL NOTES

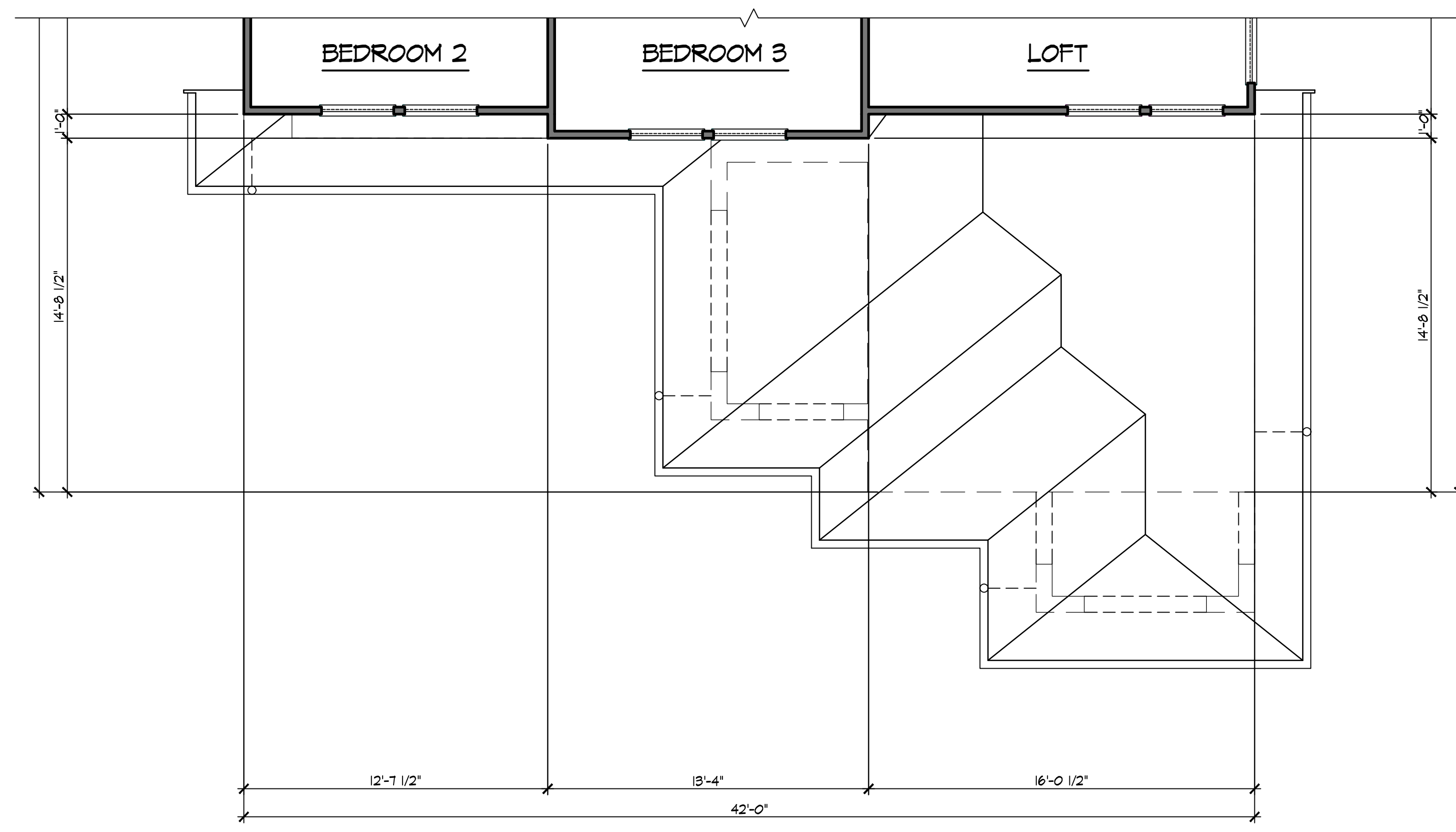
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 - GLAZING MARKED WITH A (T) SHALL BE 3/16" THICK TEMPERED SAFETY GLASS.
 - HEADER HEIGHT:
1st FLOOR = 8'-0" U.O.N.
2nd FLOOR = 8'-0" U.O.N.

- DOOR NOTES**
- 3030 SC ← OPERATION OR TYPE
HEIGHT (FT-IN") I.e. 8'-0"
WIDTH (FT-IN") I.e. 3'-0"
- OPERATION OR TYPE ABBREVIATIONS
SC = SOLID CORE HM = HOLLOW METAL
FR = FRENCH PR = PAIR
SSD = SLIDING GLASS DOOR
- ALL DOORS ARE HOLLOW CORE, U.O.N.
 - DOOR SIZE INDICATED IS THE ROUGH OPENING - VERIFY ROUGH OPENING REQUIREMENTS W/ DOOR MFR.
 - DOORS THAT APPEAR TO BE CENTERED ARE INTENDED TO BE CENTERED, U.O.N.
 - MINIMUM DOOR JAMB IS 4" FROM ADJACENT ROUGH FRAMING TO ROUGH OPENING, U.O.N.
 - WHEN DOORS ARE LOCATED, THEY ARE LOCATED FROM THE ADJACENT ROUGH FRAMING TO THE CENTERLINE OF THE ROUGH OPENING, U.O.N.
 - ALL DOOR GLAZING IS DUAL PANE INSULATING GLASS.

- WALLS LEGEND**
- 2x4 MD. STUD WALL
 - 2x6 MD. STUD WALL
 - 2x8 MD. STUD WALL
 - 2x MD. STUD PARTIAL HEIGHT WALL, HEIGHT PER PLAN
 - SOFFIT OR FURRED CEILING
 - POT SHELF



**ELEVATION 'B'
PARTIAL SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ANY CHANGE TO THIS PLAN HAS BEEN DOCUMENTED BY THIS DRAWING, FOR ALL UNCHANGED NOTES, DIMENSIONS, AND DETAILS, REFER TO SECOND FLOOR PLAN, SHEET 2862-1C

DO NOT SCALE THESE DRAWINGS

V:\3110381_EB Everglades\188184\03_CAD\310538\04_Sheets\04A_2862\2862-3B ELEVATION 'B' PARTIAL SECOND FLOOR PLAN.dwg, 11/07/2023 7:46:49 AM, (PSU)



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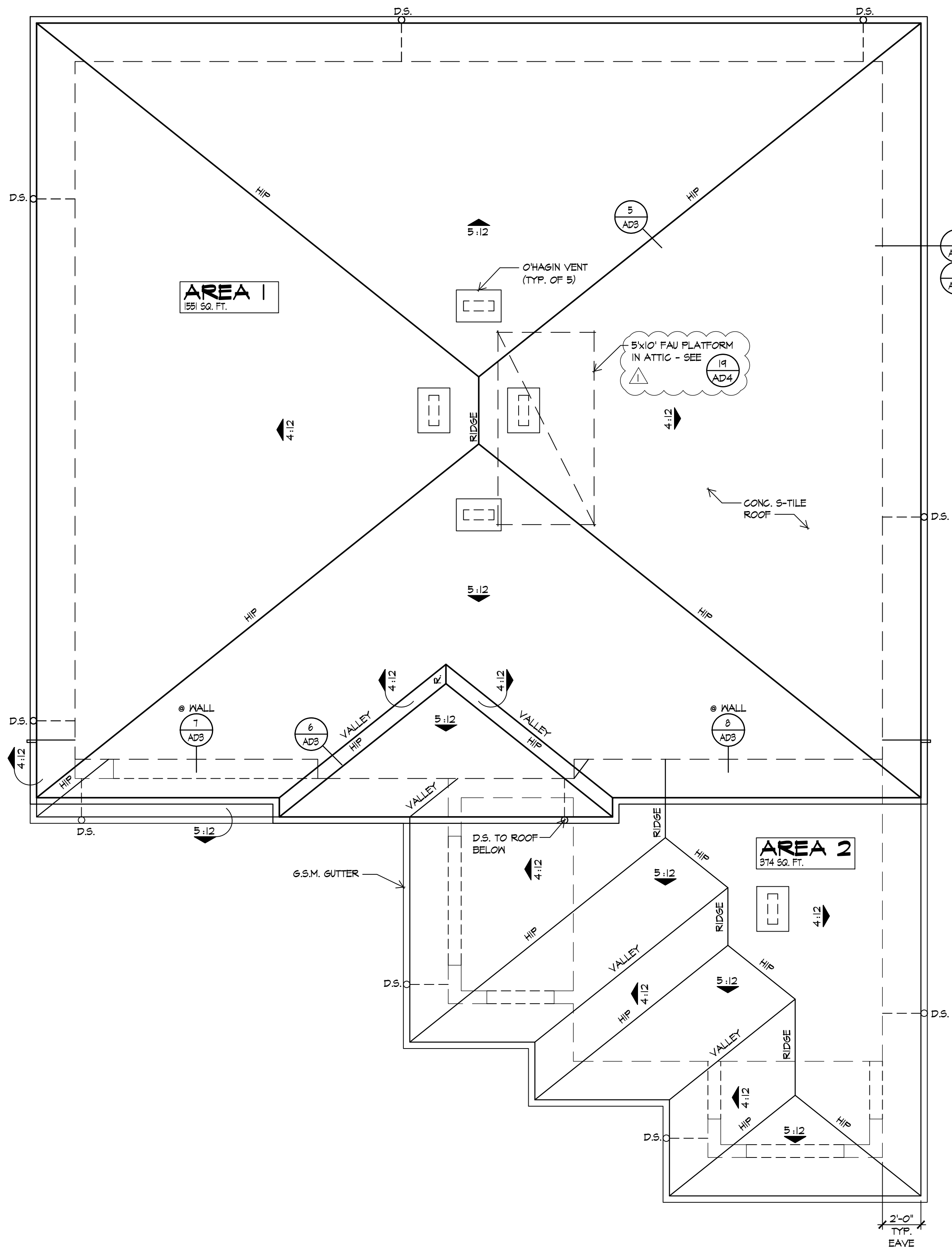
ATTIC VENTILATION NOTES

1. PROVIDE ROOF / ATTIC VENTILATION IN COMPLIANCE WITH C.R.C. SECTION R806.
 2. PROVIDE VENTILATING OPENINGS FOR EACH SEPARATE SPACE OF ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES, WHERE CEILINGS OCCUR AT UNDERSIDE OF ROOF FRAMING MEMBERS, WHERE SHOWN OR WHERE NOT SHOWN, TO ACHIEVE FULL CODE COMPLIANT CROSS VENTILATION.
 3. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/50 OF THE AREA OF THE VENTED SPACE. EXCEPTION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF SPACE SHALL BE PERMITTED.
 4. PROTECT VENTILATING OPENINGS AGAINST ENTRANCE OF RAIN AND/OR SNOW.
 5. BLOCKING, BRIDGING AND INSULATION SHALL BE ARRANGED SO AS NOT TO INTERFERE WITH AIR MOVEMENT.
 6. NOT LESS THAN 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.
 7. PROVIDE CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS OF 1/8" MINIMUM AND 1/4" MAXIMUM, FOR ALL EXTERIOR OPENING INTO ATTIC SPACE.
 8. UPPER VENTILATION: PROVIDE UPPER VENTILATION WITH GABLE VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN AND CALCULATIONS BELOW.
 9. LOWER VENTILATION: PROVIDE LOWER VENTILATION WITH SCREEN VENTS AND/OR OHASIN VENTS, AS SHOWN IN ROOF PLAN, CALCULATIONS AND NOTES BELOW.
A. SCREEN VENTS: AREA = 24 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 16" o.c., OR 46 SQ. IN. PER VENT FOR RAFTERS / TRUSSES @ 24" o.c.; (VERIFY NET VENTILATING AREA WITH VENT MFR. & RECALCULATE VENTILATION AS REQUIRED FOR COMPLIANCE).
- NOTE:
RECALCULATE VENTILATION REQUIREMENTS FOR COMPLIANCE IF RAFTER / TRUSS BLOCKS ARE USED IN PLACE OF SCREEN VENTS. RAFTER / TRUSS BLOCKS: (3) 2" DIA. HOLES. AREA = 4.42 SQ. IN. PER BLOCK. SEE STRUCTURAL DRAWINGS FOR RESTRICTIONS DUE TO SHEAR WALL REQUIREMENTS, IF ANY.
10. VERIFY NET FREE AREA OF VENTS WITH MANUFACTURER SPECIFICATIONS. ANY CHANGE IN SIZE OR NUMBER OF VENTS REQUIRES RECALCULATION OF VENTING PER THE VENT CALCULATIONS ON THIS SHEET.

ATTIC VENT CALCS.

AREA 1 - VENTILATION REQUIRED:
1581 S.F. ATTIC AREA / 300 = 5.17 S.F.
REQUIRED VENTILATION:
5.17 S.F. / 2 = 2.59 S.F. (OR 378 S.I.)
UPPER VENTILATION PROVIDED
(4) OHASIN VENTS @ 41.50 S.I. = 340 S.I.
340 S.I. PROVIDED > 378 S.I. REQ'D
LOWER VENTILATION PROVIDED (MIN.):
(9) SCREENED VENTS @ 46 S.I. = 414 S.I.
414 S.I. PROVIDED > 378 S.I. REQ'D.

AREA 2 - VENTILATION REQUIRED:
374 S.F. ATTIC AREA / 300 = 1.25 S.F.
REQUIRED VENTILATION:
1.25 S.F. / 2 = 0.63 S.F. (OR 91 S.I.)
UPPER VENTILATION PROVIDED
(1) OHASIN VENT @ 41.50 S.I. = 41.50 S.I.
41.50 S.I. PROVIDED > 91 S.I. REQ'D
LOWER VENTILATION PROVIDED (MIN.):
(2) SCREENED VENTS @ 46 S.I. = 92 S.I.
92 S.I. PROVIDED > 91 S.I. REQ'D.



**ELEVATION 'B'
ROOF PLAN**
SCALE: 1/4" = 1'-0"

DO NOT SCALE THESE DRAWINGS

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**ELEVATION 'B'
ROOF PLAN &
CALCULATIONS**

REVISIONS

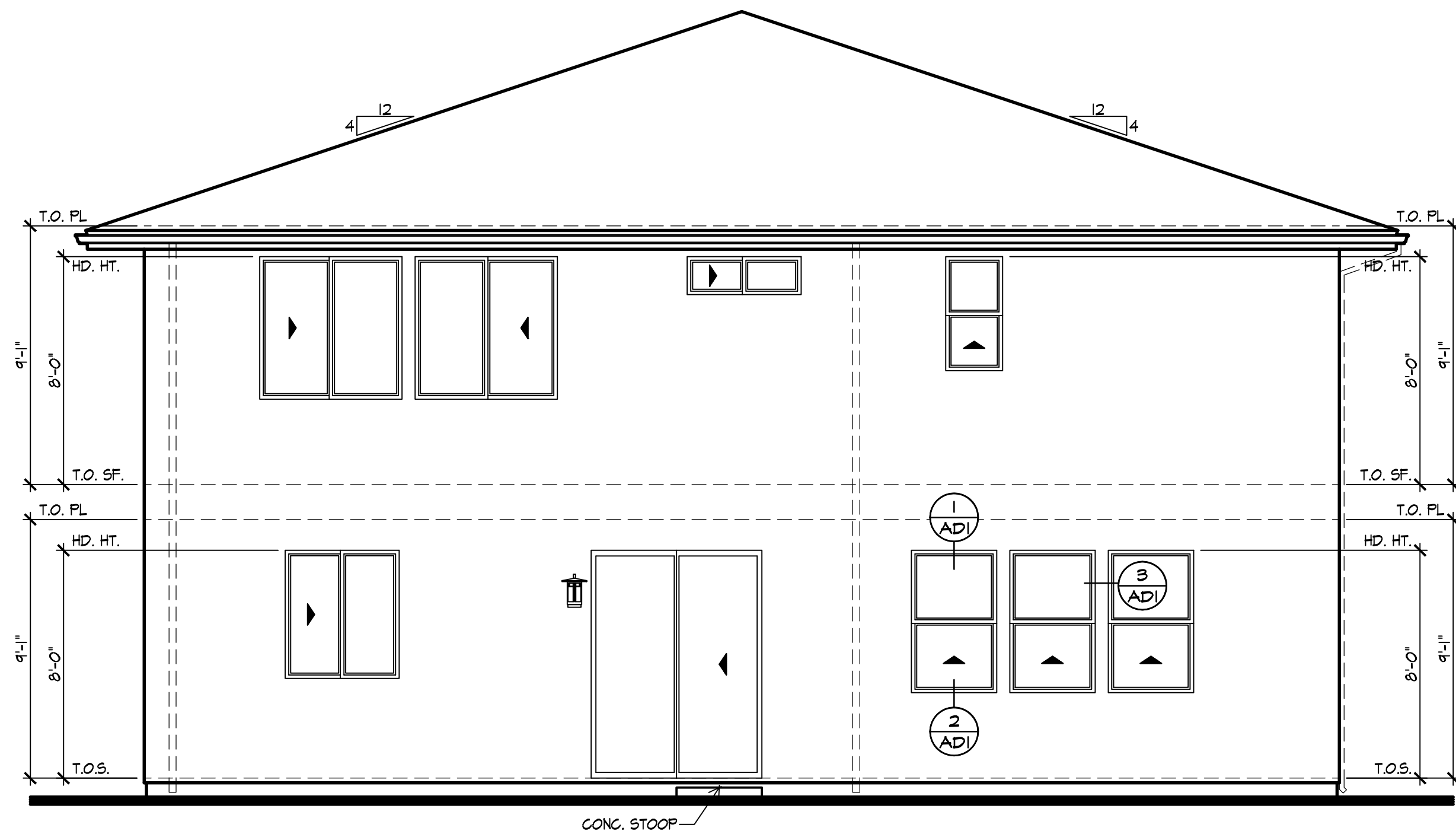
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310538
PM	LGA, GC, CRI, OL, CRI, CRI

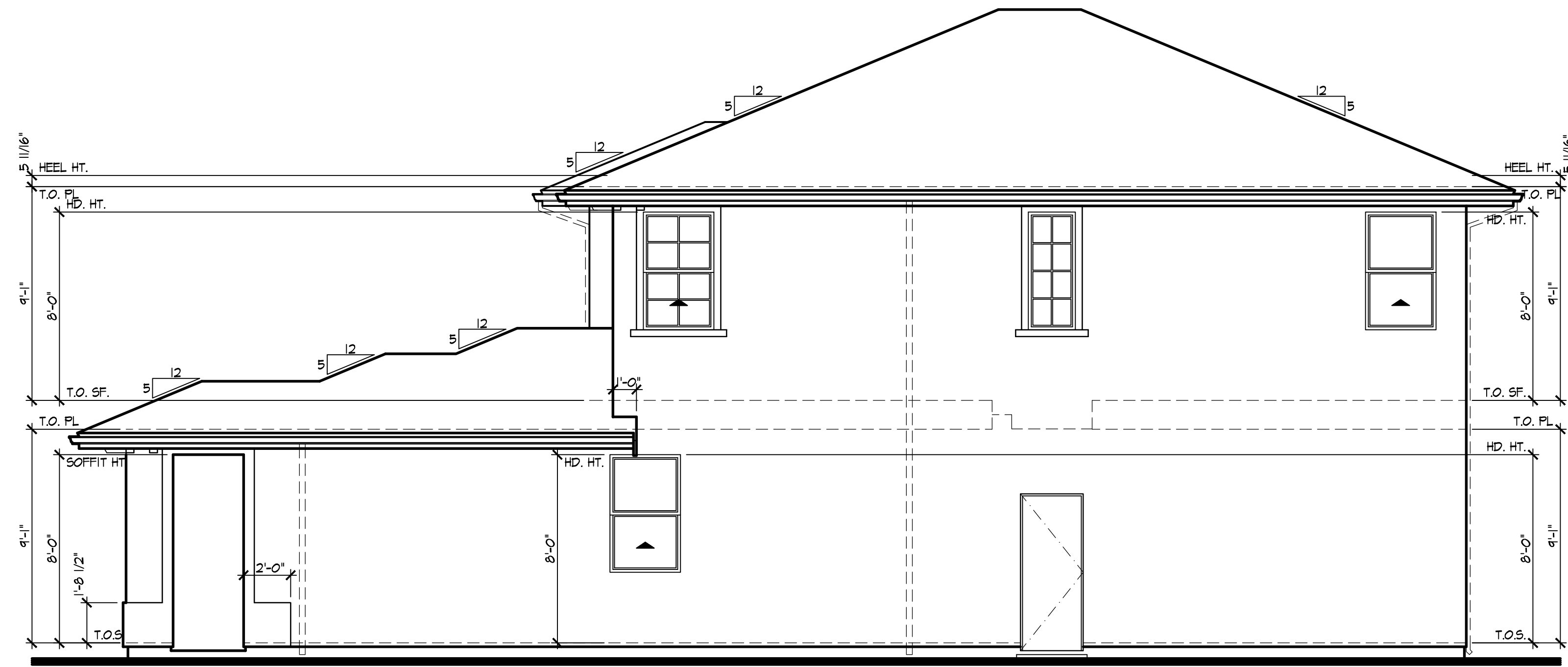
PLAN 2862 - SHEET

2862-3C

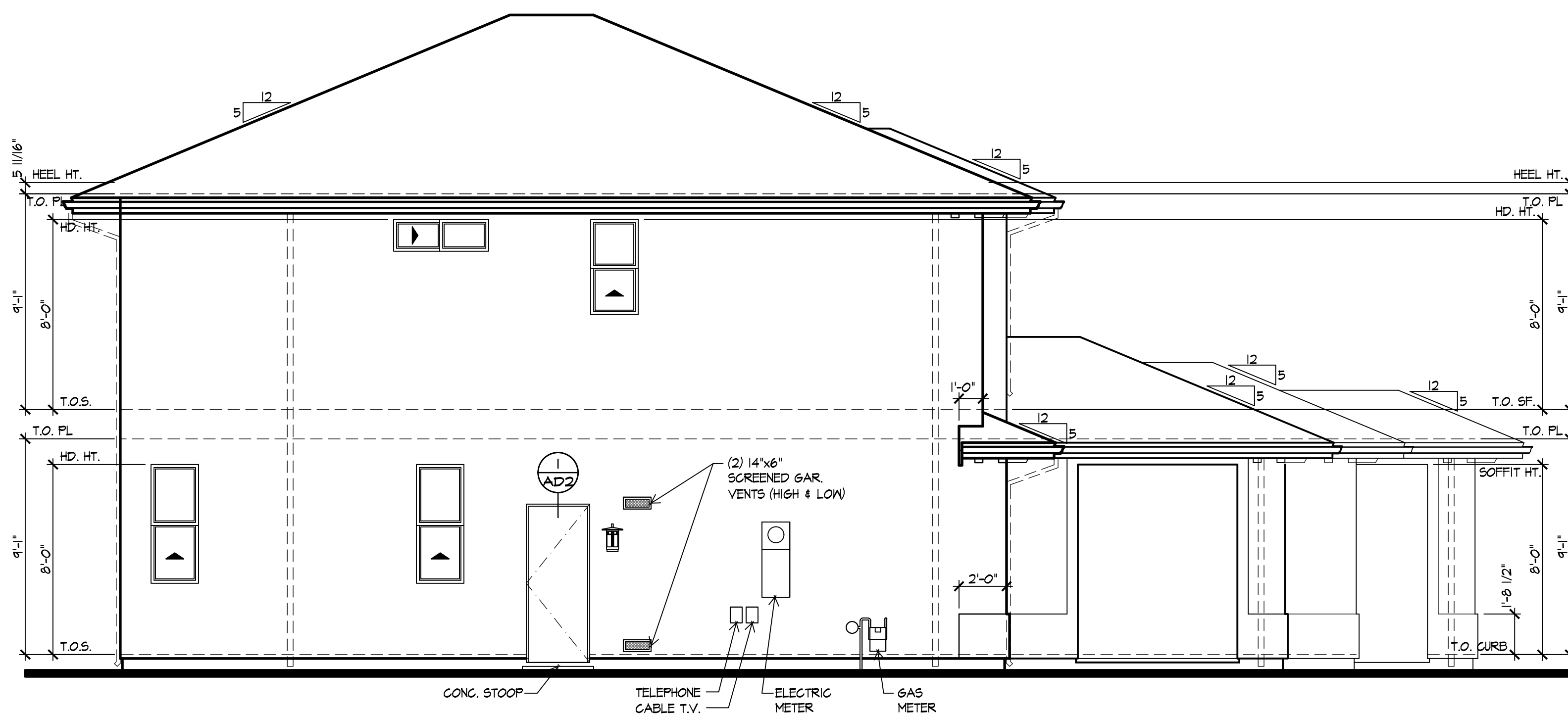
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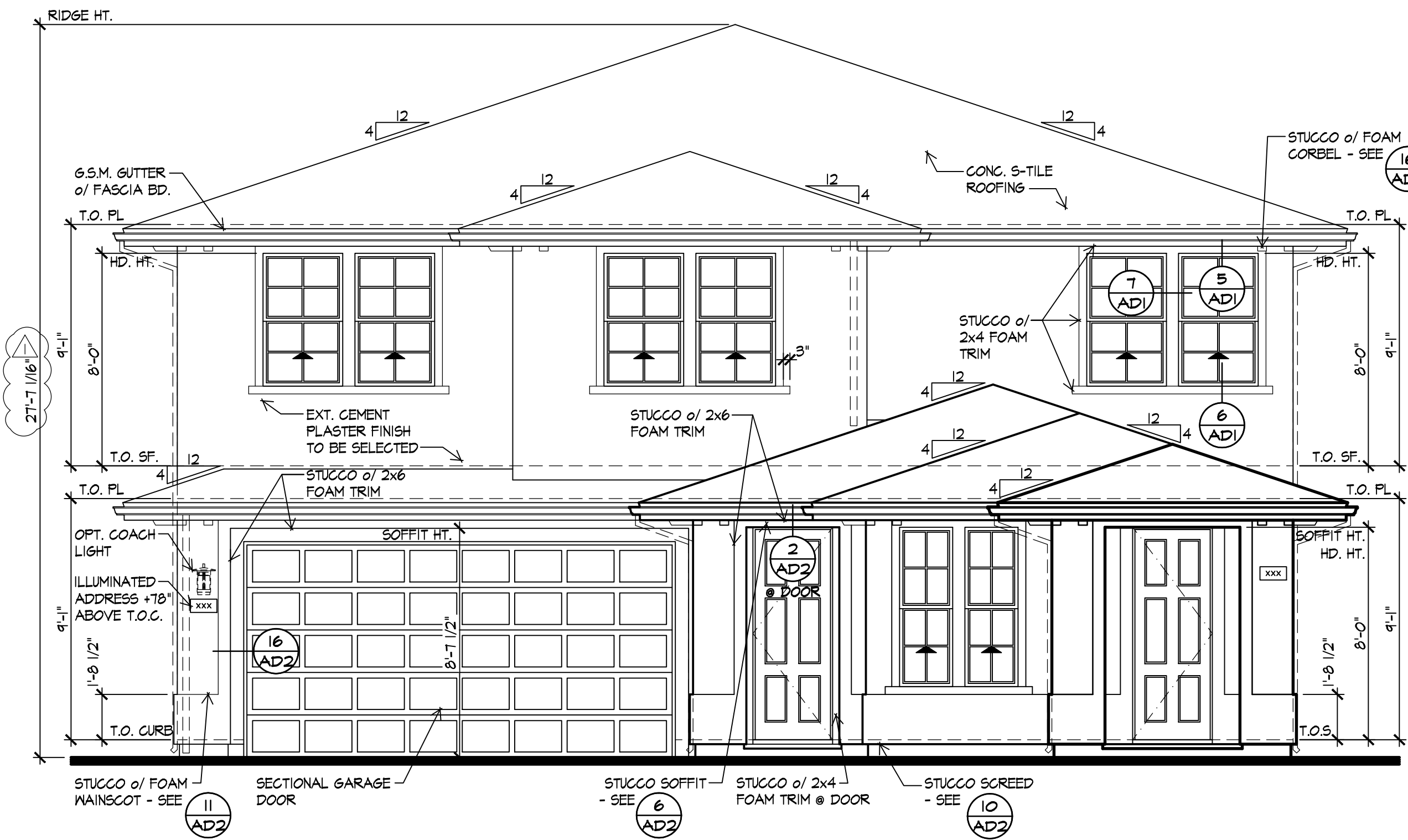
ELEVATION 'B'
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION 'B'
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION 'B'
LEFT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION 'B'
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



ELEVATION 'B'
EXTERIOR ELEVATIONS

REVISIONS
△ PLAN CHECK COMMENTS: 11/06/2023

SET DATE	11/06/2023
ISSUE DATE	08/04/2023
SCALE	AS NOTED
DRAWN	CRI, ADE, PSU
JOB	310530
PM	LGA GC CRI OL PSU

PLAN 2862 - SHEET
2862-3D